

St Marys Church Hall, 25 East Street, BN43 5ZQ

Design & Access Statement

Contents

01. Introduction

- 1.1.0 The Buildings’ Locality and Context
- 1.2.0 Heritage Outline of the Proposal Buildings
- 1.3.0 Summary of the Current Uses
- 1.4.0 Consultation and Stakeholders
 - 1.4.1 The Church of St Mary de Haura Stakeholder Continuity
 - 1.4.2 Pre-Application Planning Advice
- 1.5.0 Outline of the Existing Design and Appearance
- 1.6.0 Current Issues Concerning Disability Access

02. Proposal Overview

- 2.1.0 Outline of the Proposed Development
- 2.2.0 The East Street Building
 - 2.2.1 The Ground Floor Church/Community Centre
 - 2.2.2 The Community Centre Accommodation
 - 2.2.3 Community Centre Heating, Cooling, and Ventilation
- 2.3.0 The New Road / Edwardian Buildings
 - 2.3.1 The New Road / Edwardian Buildings Generally
 - 2.3.2 The New Road Houses (Houses 1-4)
 - 2.3.3 The New Road House (House 5)

03. Housing Component in Detail

- 3.1.0 Design of Houses 1-4
 - 3.1.1 Houses 1-4: M&E Installations
 - 3.1.2 Houses 1-4: Bicycle Storage
 - 3.1.3 Houses 1-4: Outdoor Amenity Spaces
 - 3.1.4 Houses 1-4: Refuse Storage
 - 3.1.5 Houses 1-4: Materials
- 3.2.0 Design of the East Street House (House 5)
 - 3.2.1 House 5 M&E Installation
 - 3.2.2 House 5 Bicycle Storage
 - 3.2.3 House 5 Outdoor Amenity Spaces
 - 3.2.4 House 5 Refuse Storage
 - 3.2.5 House 5 Materials

04. Heritage and Design Aspects

- 4.1.0 Heritage and Design Approach
- 4.2.0 The East Street Building
 - 4.2.1 The Original Construction of the East Street Building
 - 4.2.2 The East Street Building Proposals
- 4.3.0 The New Road Elevation Generally
- 4.4.0 Works to the Rood of the New Road Stair
 - 4.4.1 Apartment B Window and Terrace
 - 4.4.2 Roof Recess for M&E Plant
- 4.5.0 The East Street House (House 5)

05. Design for Inclusive Access

- 5.1.0 Design for Inclusive Access: The Community Centre
 - 5.1.1 Overall Design and Planning
 - 5.1.2 The Community Centre: Main Entrance
 - 5.1.3 The Community Centre: Toilet Provision
 - 5.1.4 The Community Centre: Lighting
- 5.2.0 Design for Inclusive Access: The Houses and Apartments
- 5.3.0 Design for Inclusive Acces: The Houses
 - 5.3.1 The Front Entrances to the Houses
 - 5.3.2 Circulation Within the Houses
- 5.4.0 Design for Inclusive Access: The Apartments
 - 5.4.1 Communal Stair Access to the Apartments
 - 5.4.2 Circulation Within the Apartments

01. Introduction

- 1.1.0 The Buildings’ Locality and Context
- 1.2.0 Heritage Outline of the Proposal Buildings
- 1.3.0 Summary of the Current Uses
- 1.4.0 Consultation and Stakeholders
 - 1.4.1 The Church of St Mary de Haura Stakeholder Continuity
 - 1.4.2 Pre-Application Planning Advice
- 1.5.0 Outline of the Existing Design and Appearance
- 1.6.0 Current Issues Concerning Disability Access



Fig. 1: Existing East Street frontages & streetscape

01. Introduction

1.1.0 The Buildings' Locality and Context

The site is located on the North-West corner of the junction between East Street and New Road in the centre of Shoreham-by-Sea. This junction marks the extent of the pedestrianized Southern section of East Street populated by busy cafes and restaurants with outdoor seating extending over much of the pavement. The recent urban enhancement of this part of East Street, which includes stone paving, signage and bollards, extends past the New Road junction and terminates at the south churchyard wall. The stone paving material associated with the pedestrianization extends to the proposal site's North boundary line. As such, the site sits both within the bustling pedestrianized area and within the quieter square of buildings that surround the tree-lined and lawned churchyard of the 12th Century St. Mary de Haura. In the pedestrian experience of this part of Shoreham-by-Sea, the East Street frontage of the proposal site delineates the transition between these two distinct urban spaces.

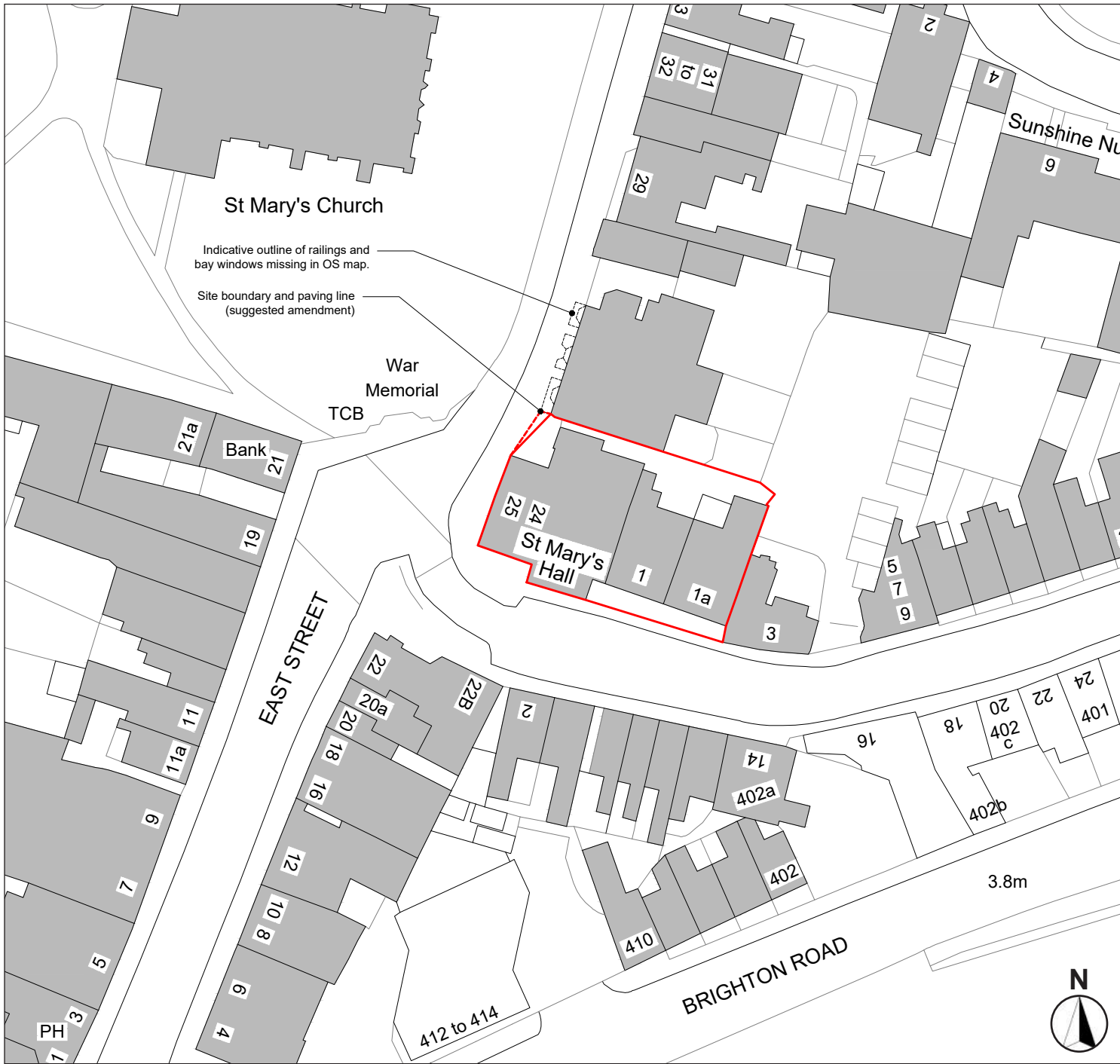


Fig. 2: Street Plan



Fig. 3: Photo of East Street Building from Churchyard

01. Introduction

1.2.0 Heritage Outline of the Proposals Buildings

The proposal site lies within the 1971/1993 designated Shoreham by Sea Conservation Area which encompasses the historic medieval core of the town as well as most of its pre-20th Century development.

The proposal buildings comprise two distinct components, the 19th Century former Church School building fronting East Street and facing the churchyard, and the larger-scale Edwardian school/hall development that runs mainly along the North side of New Road. There is a two-storey Edwardian element to the North of the earlier East Street building. This originally acted as the main entrance for the upper hall spaces and accommodates a large staircase. The exterior frontage of this part of the building group has been painted (white/magnolia).

The houses adjacent to this and the other proposal buildings present an early to mid-19th Century appearance although this may mask earlier structures.



Fig. 4: Plan Diagram - Primary Building Phases



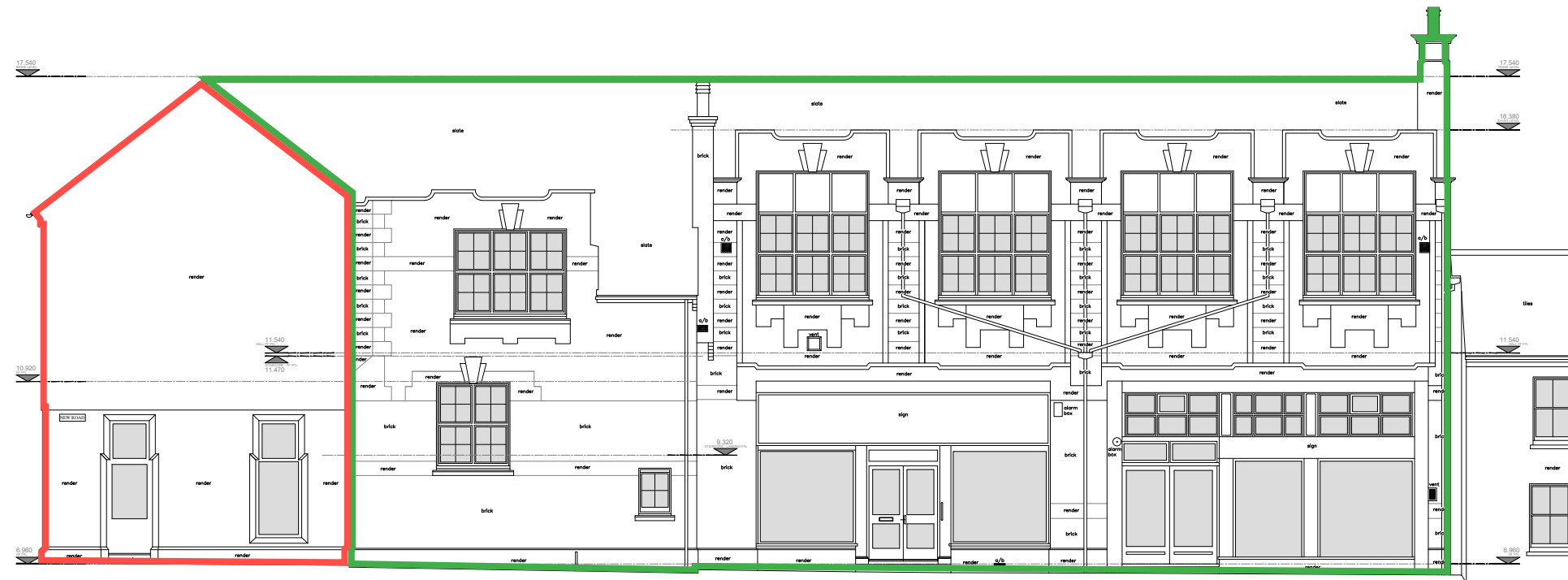


Fig. 5: New Road Elevation - As Existing

Key:

- 19th Century Former School
- Edwardian School/Hall Development



Fig. 6: East Street Elevation - As Existing

01. Introduction

1.3.0 Summary of the Current Uses

Whilst the proposal buildings no longer operate as a school, the parish church of St Mary de Haura have retained the use of the hall spaces situated at first floor and one of the ground floor units that opens onto New Road which functions both as a meeting space and the Parish Office. The ground floor of the East Street building is currently occupied by an antique shop.

The church operates a Parish Office from one of the two ground floor units fronting New Road. The other unit is leased by a craft enterprise.



Fig. 8: Photo of Parish Office



Fig. 7: Photo of Parish Office



Fig. 9: Photo of Hall Space

01. Introduction

1.4.0 Consultation and Stakeholders

1.4.1 The Church of St Mary de Haura Stakeholder Continuity

The proposal buildings have all historically been in the single ownership of the church of St Mary de Haura, Shoreham-on-Sea. The church will retain ownership of the ground floor of the East Street building as their church/community centre, giving them a presence on a main Shoreham thoroughfare and a direct visual connection with the church of St Mary de Haura.

As part of the design development and briefing process, the design team have met regularly with members of the church and have hosted an evening event within St Mary de Haura where they were able to present proposals directly to the church community.



Fig. 10: Photos of St Mary's Presentation Evening

01. Introduction

1.4.2 Pre-Application Planning Advice

Initial proposals for the scheme were submitted to Worthing and Adur Planning Department for Pre-Application Advice; the refurbishment approach within the retained buildings was welcomed. The formal response is outlined elsewhere in the submission.

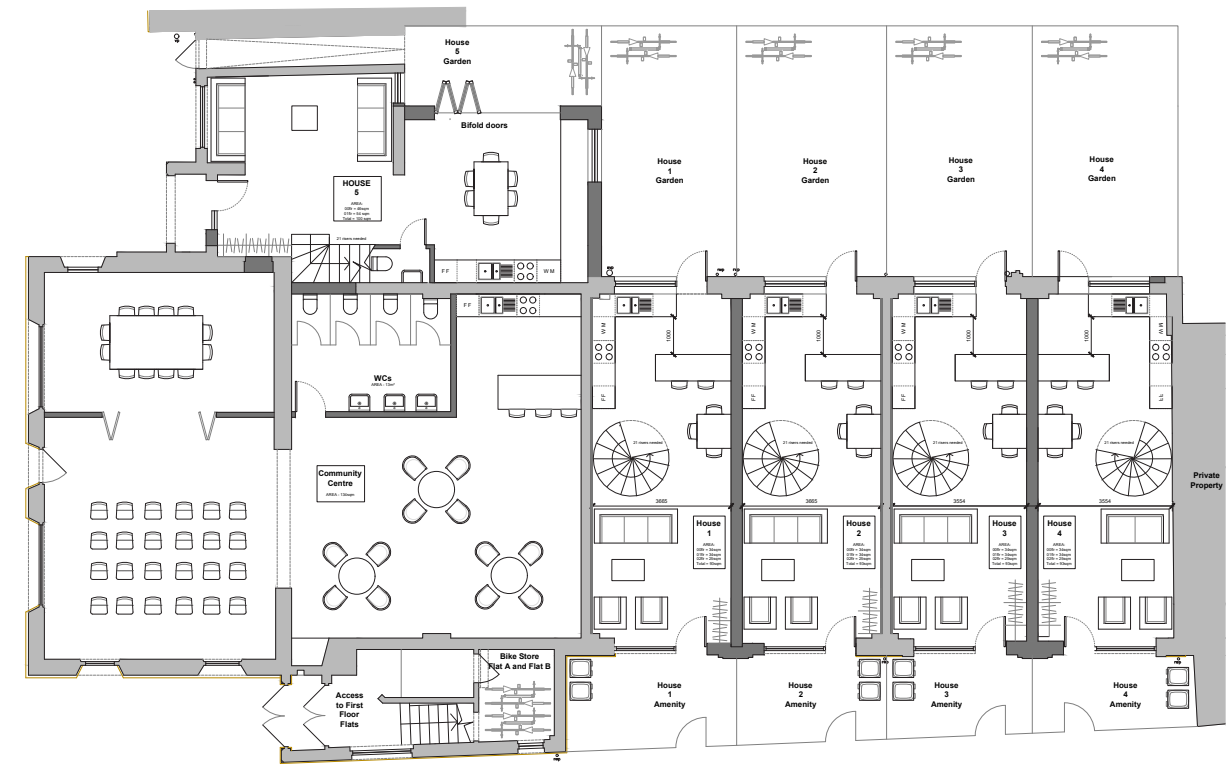


Fig. 11: Proposed ground floor plan from pre-application.



Fig. 12: Proposed Elevations from pre-application.

01. Introduction

1.5.0 Outline of the Existing Design and Appearance

The complex heritage of the proposal buildings is manifest in their overall shape and urban form, the 1830's church school building running along East Street, its roof ridge running parallel to that road, and the Edwardian New Road buildings making a perpendicular abutment to its rear elevation. Whilst the different periods of construction are evident from the scale, massing and overall form of the building, attempts were evidently made in the first half of the 20th Century to homogenize the structures through the alteration and blocking of window openings and successive applications of render and pebbledash. Consequently, whilst the New Road elevation is a clear expression of early 20th Century civic architectural practice, the East Street frontages are, in their current state, unattractive and 'muddled,' concealing their public heritage value and underperforming in their contribution to the overall streetscape.



Fig. 13: Aerial view NE of site looking south.



Fig. 14: Aerial view SW of site looking north.

Key
St Mary's Hall



Fig. 15: Close-up view of East Street Building showing existing pebbledash

01. Introduction

1.6.0 Current Issues Concerning Disability Access

Whilst the church has continued to make use of the proposal buildings, the inclusivity of its outreach has been impaired by the arrangement of the function spaces within the building.

The largest of these existing spaces, the hall, is situated at first floor within the New Road structure served by two staircases, one accessed from East Street and the other, primarily an escape route, from the corner of New Road. Neither stairway is readily suitable for the insertion of step-free access arrangements to the first-floor rooms. Water ingress from the roof has led to a complex series of spaces delineated by free-standing exhibition panels creating an environment that is visually complex, cluttered and ambiguous and likely to be problematic for those with visual impairments. There is no provision for visitors with hearing impairments.

The only ground level accommodation in use by the church is the Parish Office situated at No.1 New Road. Access to this space for people with mobility impairments is hampered by a step at the street entrance. Within the premises, there is no accessible WC provision and the single WC facility that is available is situated in a covered yard the door to which has a stepped threshold.

There are no rails adjacent to the stepped thresholds for the use of ambulant people with disabilities. There is, similarly, no provision for visitors with hearing impairments and the environment within the rooms is visually complex/cluttered/ambiguous and likely to be problematic for those with impaired vision. The high level of glare from the south facing windows would equally cause difficulties for this user group.

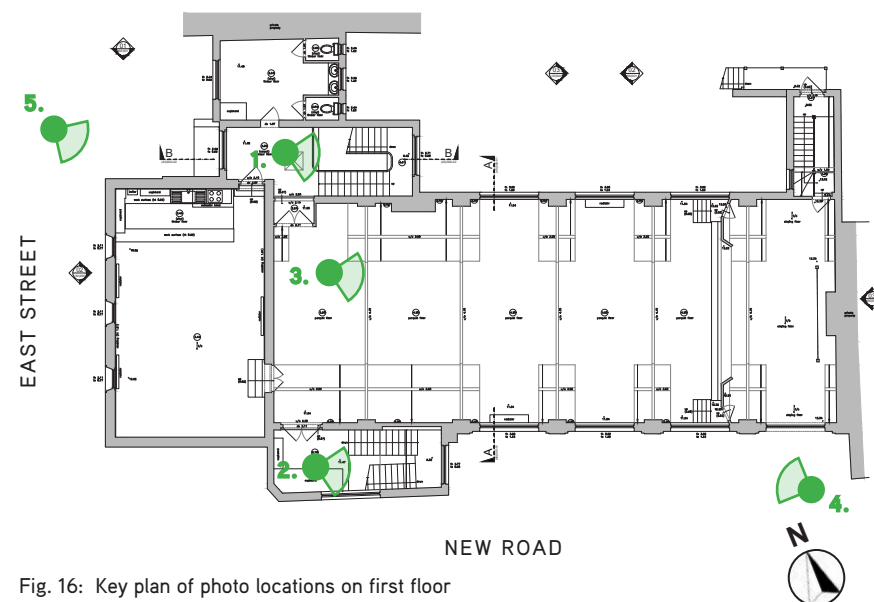


Fig. 16: Key plan of photo locations on first floor

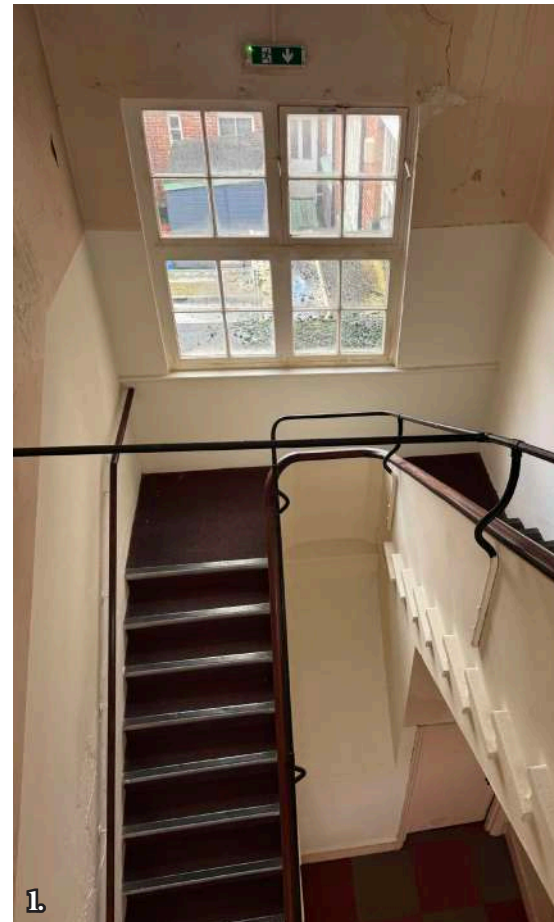


Fig. 17: Photo of existing stairwell from East Street

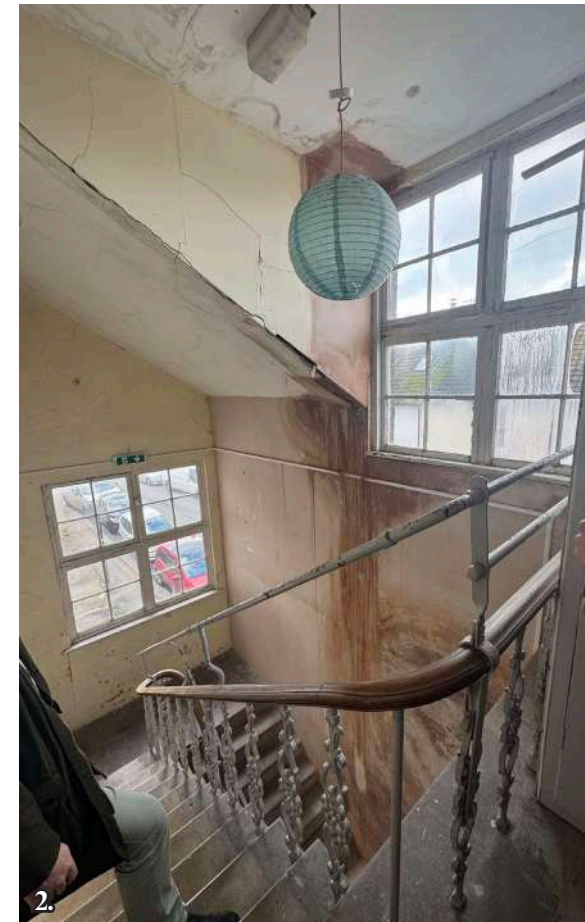


Fig. 18: Photo of existing stairwell from New Road

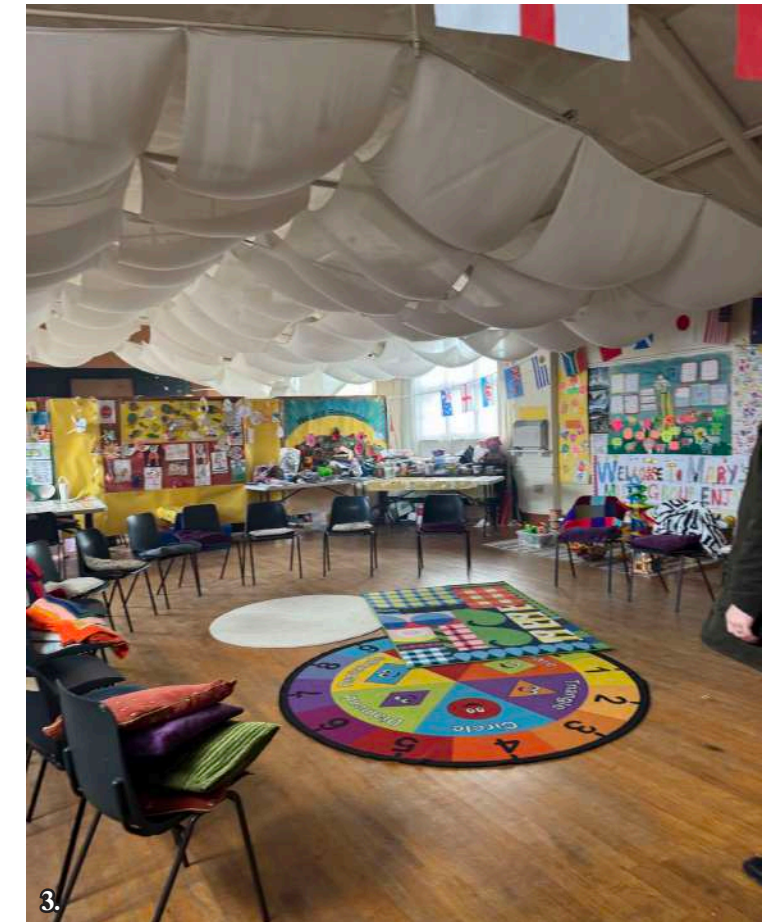


Fig. 19: Photo of existing community hall



Fig. 20: Photo of stepped access to parish council office & shoreham pottery studio from New Road



Fig. 21: Photo of access to northern stair core & retail units from East Street

02. Proposal Overview

2.1.0 Outline of the Proposed Development

2.2.0 The East Street Building

2.2.1 The Ground Floor Church/Community Centre

2.2.2 The Community Centre Accommodation

2.2.3 Community Centre Heating, Cooling, and Ventilation

2.3.0 The New Road / Edwardian Buildings

2.3.1 The New Road / Edwardian Buildings Generally

2.3.2 The New Road Houses (Houses 1–4)

2.3.3 The New Road House (House 5)

02. Proposal Overview

2.1.0 Outline of the Proposed Development

The proposal is to refurbish the existing group of buildings to accommodate a mix of five houses, two flats and a church/community centre for the St Mary de Haura Church and Parish Office.

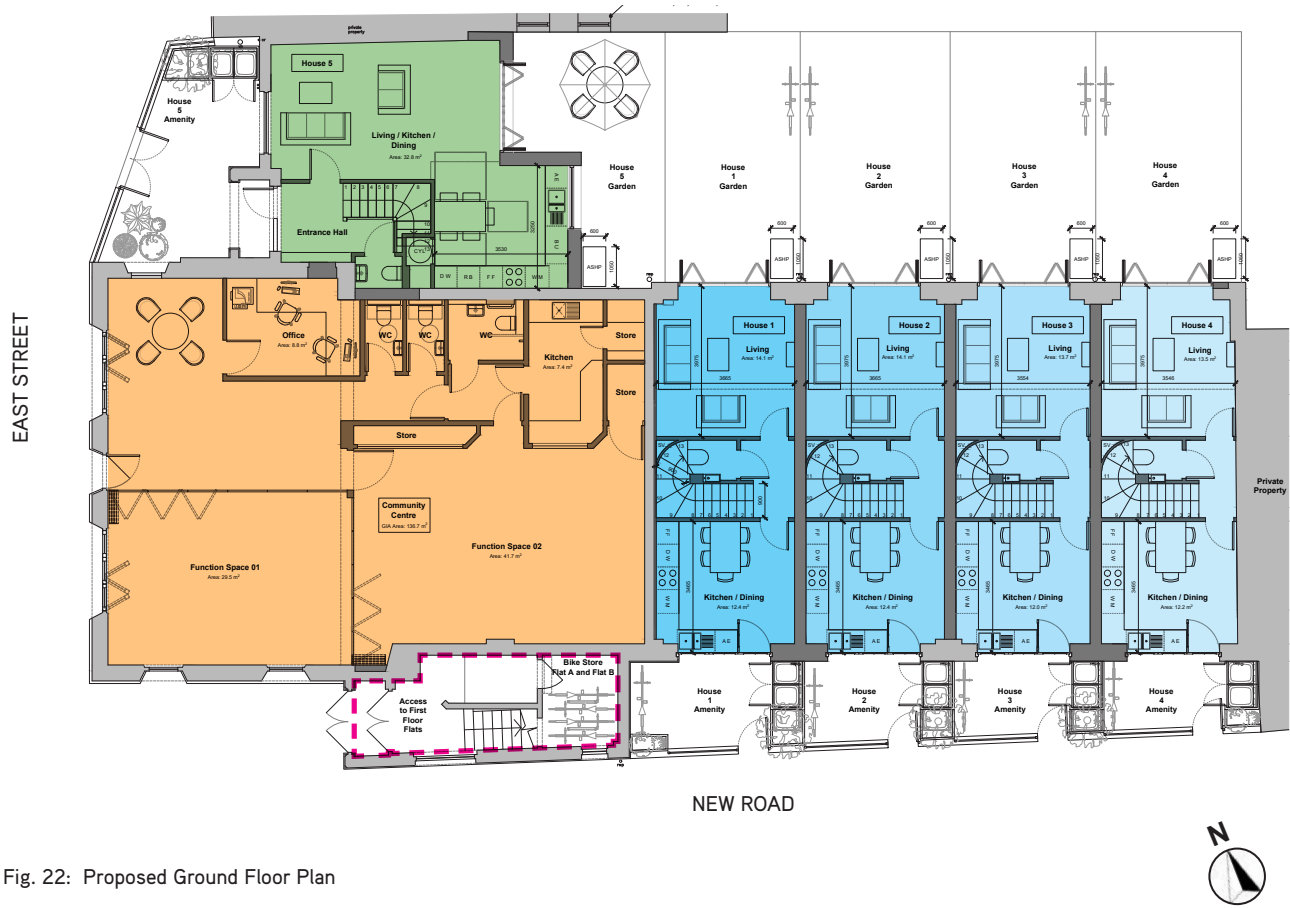


Fig. 22: Proposed Ground Floor Plan

- Key
- | | |
|-------------------|---------------------------|
| Community Centre | House 05 - (3B5P) |
| House 01 - (3B5P) | Flat A - (2B3P) |
| House 02 - (3B5P) | Flat B - (2B4P) |
| House 03 - (3B5P) | Staircore to access flats |
| House 04 - (3B5P) | |

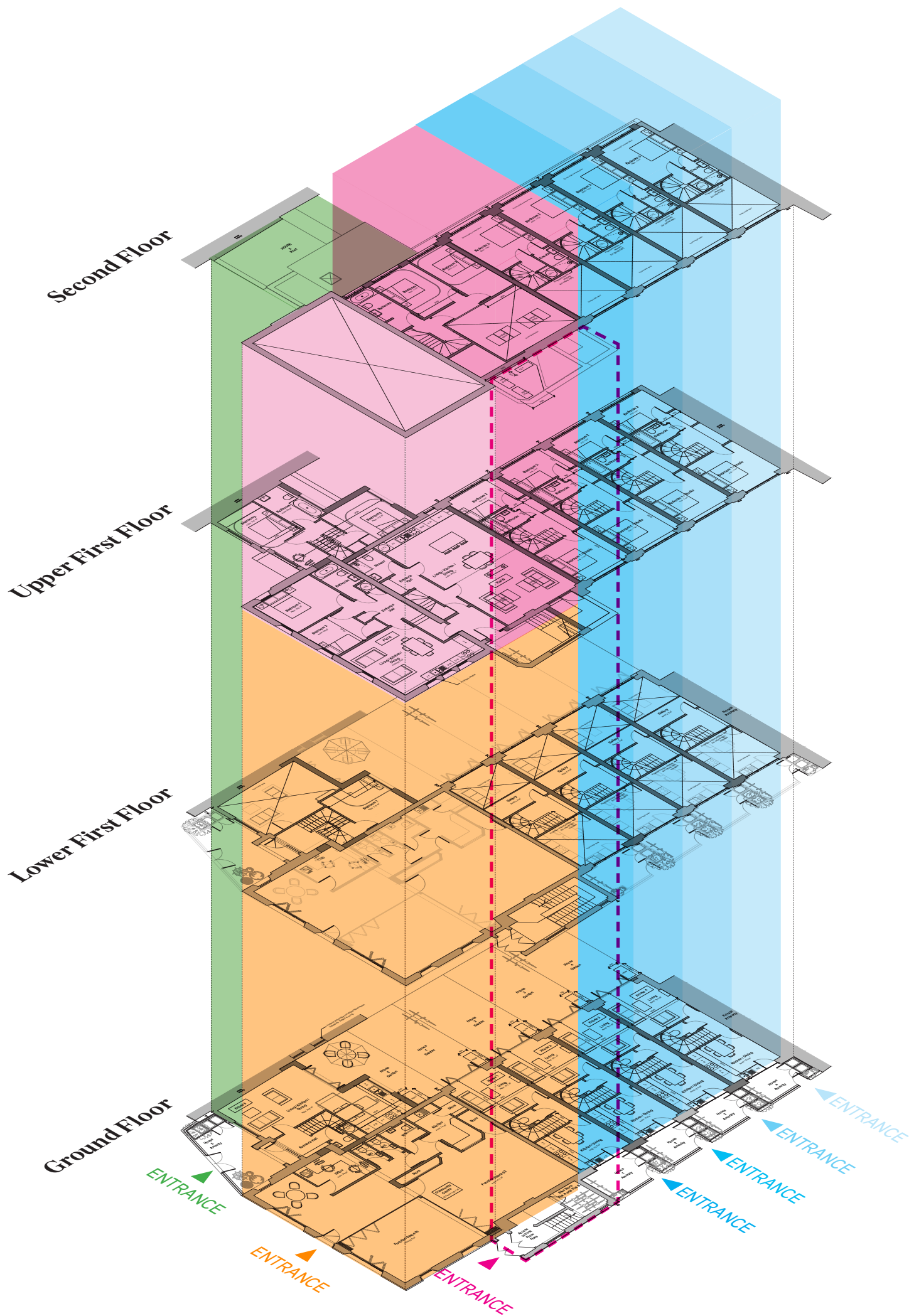


Fig. 23: Isometric diagram of proposed floor plans.

02. Proposal Overview

2.2.0 The East Street Building

2.2.1 The Ground Floor Church/Community Centre

The St Mary's church/community centre is to occupy the ground floor of the East Street building with its principal entrance situated on East Street. It is proposed that the existing single-glazed shop fronts be replaced with glazed 'bi-fold' doors allowing the centre to open-up onto the East Street pavement in a similar manner to the nearby cafes and restaurants. It is envisaged that the exterior of the East Street building will be partially restored as a part of the project. The first floor above the community centre will be remodeled internally to accommodate two 2-bedroom flats.



Fig. 24: Rendered Western Elevation Showing East Street Facade



Fig. 25: Rendered South Elevation Showing New Road Facade

Key:

- 19th Century Former School
- Bifold Doors
- Reinstated Gothic Windows (Openings shown indicatively)
- Reinstated Gable Parapet

02. Proposal Overview

2.2.2 The Community Centre Accommodation

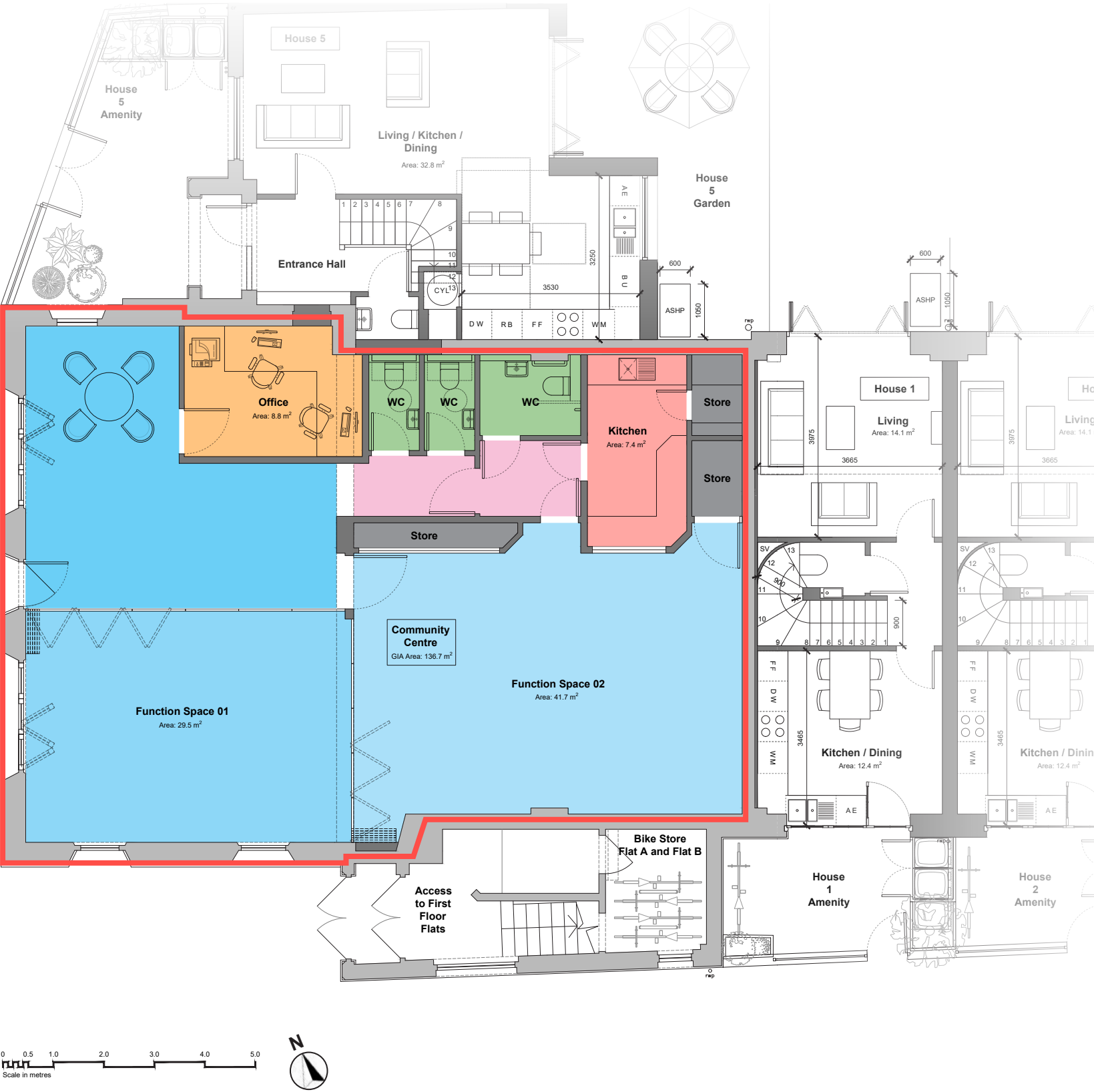
It is currently envisaged that the community accommodation will include three main function spaces and an office as well as ancillary WC, kitchen and storage facilities. Toilet provision will include accessible compartments. The kitchen will not be equipped for the cooking of meals.

An indicative internal plan is provided on the submitted drawings to convey a sense of the community centre rooms and their likely arrangement.

2.2.3 Community Centre Heating, Cooling, and Ventilation

It is envisaged that the Community Centre will be largely mechanically ventilated. Intake and exhaust louvres will be above the windows in the New Road return of the East Street building.

Heat exchanger/condenser units associated with the mechanical installation will be housed within a roof recess formed behind the existing brickwork of the stair situated on New Road.



Key		
Reception / Entrance	WC	
Function Space 01	Kitchen	
Function Space 02	Circulation	
Office / Admin	Storage / Plant	

Fig. 26: Indicative Community Hall Plan

02. Proposal Overview

2.3.0 The New Road / Edwardian Buildings

2.3.1 The New Road / Edwardian Buildings

The Edwardian parts of the building group, those to New Road and to north of the East Street building/community centre, will be reconfigured internally into five 3-bedroom houses.

The roofs to the buildings are in poor condition and require replacement throughout. The new roofs will match the existing in their geometry and finish except to the rear of the New Road terrace where the roofs of the dormers are slightly higher, although well below the level of the main roof ridge. All ridge levels remain as existing.

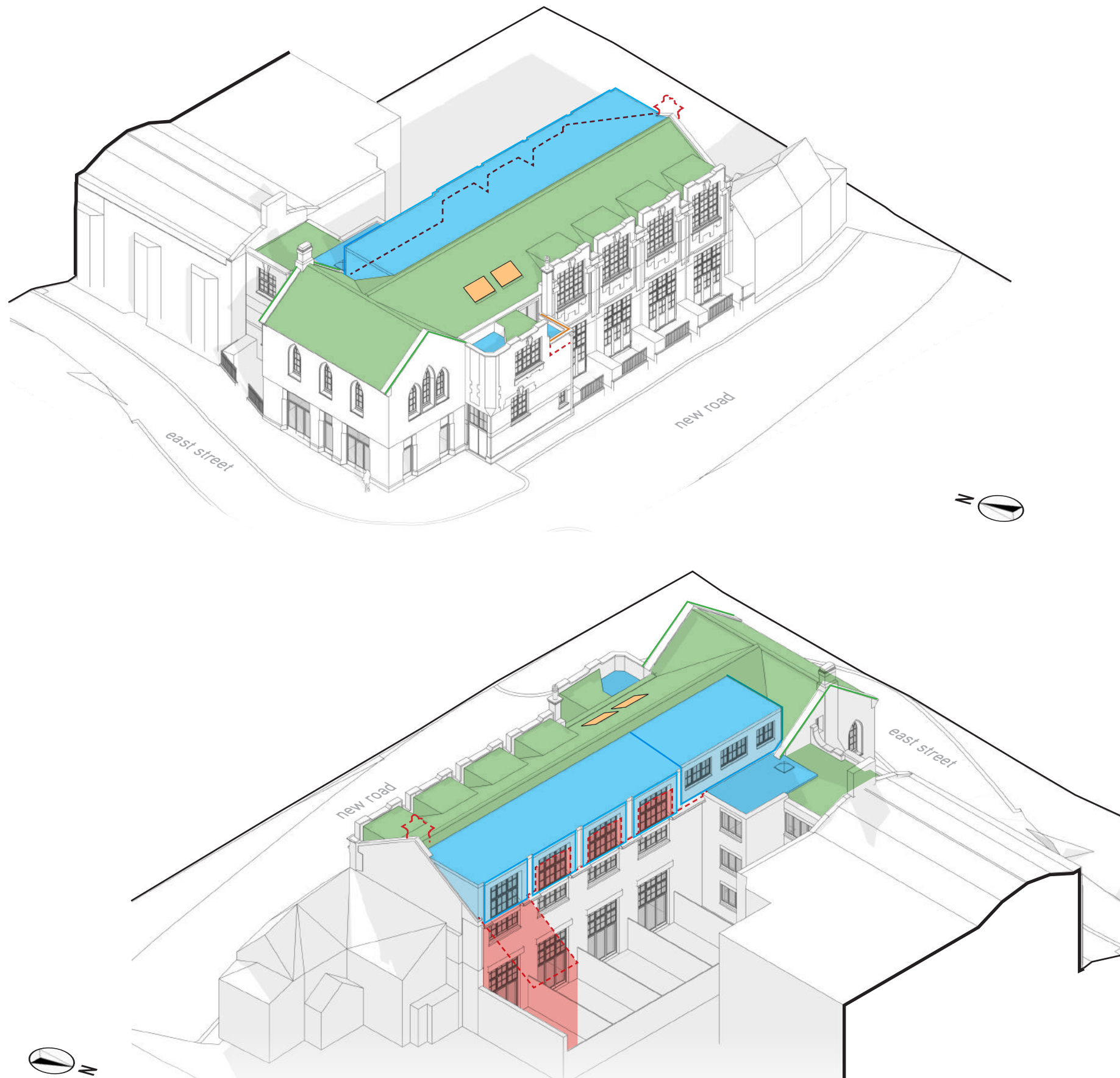


Fig. 27: Isometric drawing illustrating proposed roof alterations.

02. Proposal Overview

2.3.2 The New Road Houses (Houses 1-4)

The Edwardian building fronting New Road will be refurbished to accommodate four town houses occupying each of the existing structural bays.

Externally, each house is approached across a small paved front garden area enclosed with railings. To the rear, the living room of each house opens onto a planted garden through folding glazed doors.

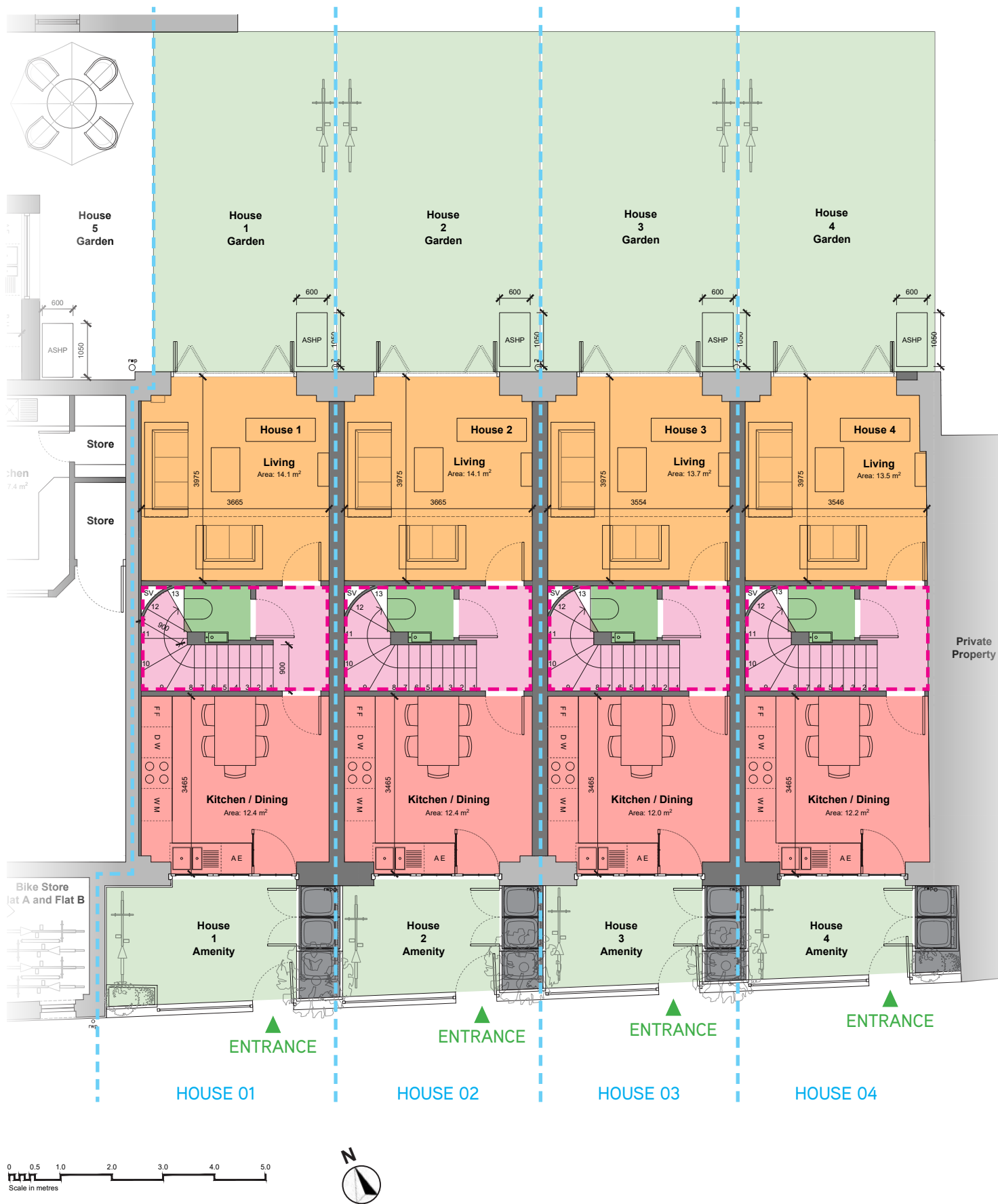


Fig. 28: Houses 1 - 4 - Proposed Ground Floor Plan

02. Proposal Overview

2.3.3 The New Road House (House 5)

House 5 is created behind the retained Edwardian frontage to the North of the East Street building.

As with the New Road houses, the entrance to the dwelling is approached across a private paved front garden enclosed behind iron railings of design appropriate to the period of the building. The kitchen opens onto a planted rear garden.

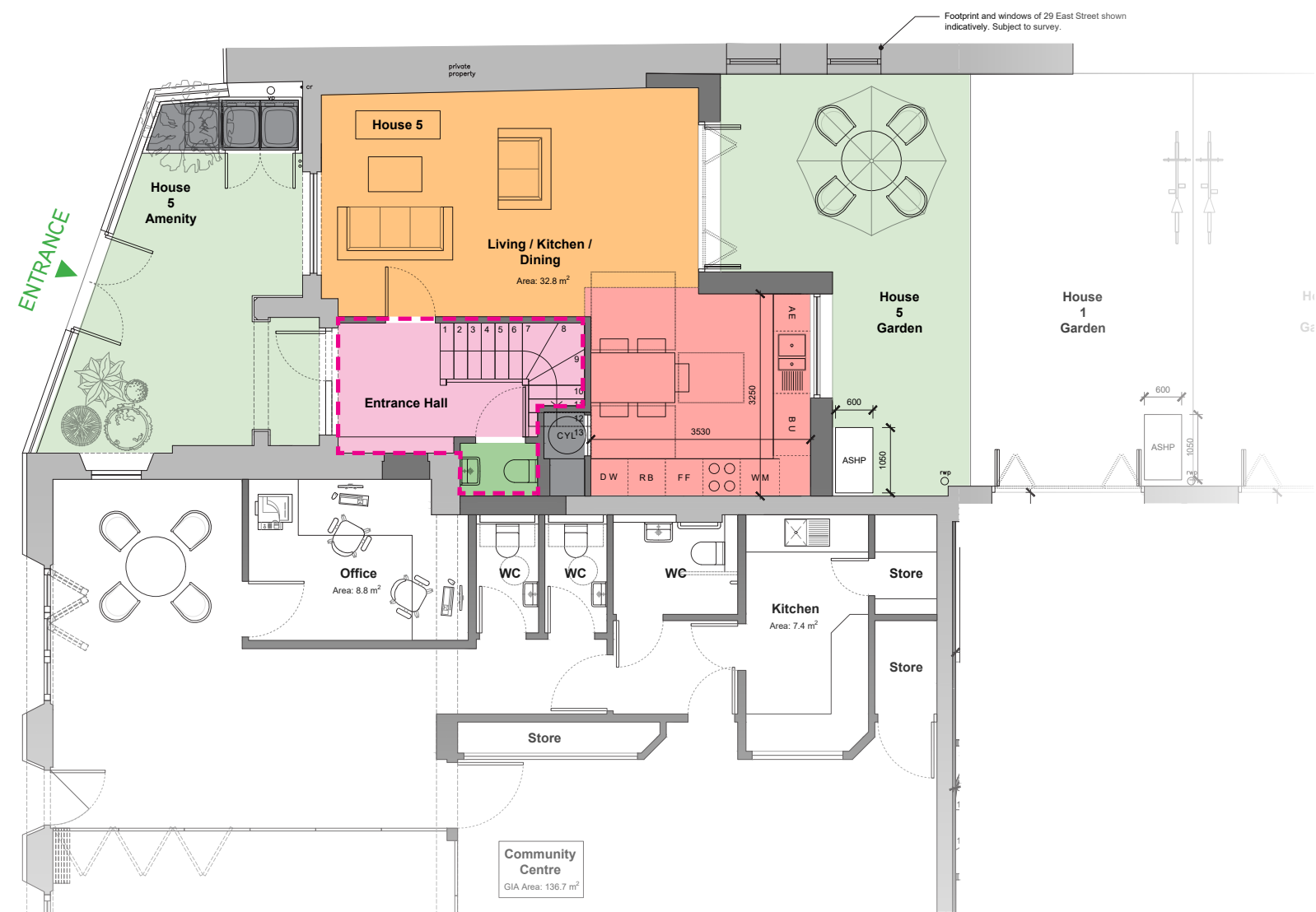


Fig. 29: Houses 5 - Proposed Ground Floor Plan

03. Housing Component in Detail

- 3.1.0 Design of Houses 1-4
 - 3.1.1 Houses 1-4: M&E Installations
 - 3.1.2 Houses 1-4: Bicycle Storage
 - 3.1.3 Houses 1-4: Outdoor Amenity Spaces
 - 3.1.4 Houses 1-4: Refuse Storage
 - 3.1.5 Houses 1-4: Materials
- 3.2.0 Design of the East Street House (House 5)
 - 3.2.1 House 5 M&E Installation
 - 3.2.2 House 5 Bicycle Storage
 - 3.2.3 House 5 Outdoor Amenity Spaces
 - 3.2.4 House 5 Refuse Storage
 - 3.2.5 House 5 Materials
- 3.3.0 Pre-Application Advice

03. Housing Component in Detail

3.1.0 Design of Houses 1-4

On plan each house is divided by the stair enclosure into two principal rooms, a kitchen-dining room to the South/front of the dwelling and a living room to the North/rear. The stair enclosure includes at ground floor level a Part M compliant WC compartment as well as heat-pump plant and manifolds. On upper levels, the enclosure accommodates part of the dwelling's storage provision.

The substantial existing ground level floor-to-ceiling heights are retained with each house having a small mezzanine gallery projecting into the living room. The fenestration design to the principal rooms replicates and extends that which is extant to the floor above, unifying the elevation to New Road. The new windows will be double-glazed but will incorporate timber profiles similar to the existing window joinery.

The first floor of each house similarly accommodates front and rear bedrooms divided by the central stair enclosure and a bathroom. The front bedroom is a double-height space and it is envisaged that occupiers may use this room as a studio or an additional reception room according to preference. As at ground floor, the existing glazing bar configuration is reproduced but modified to comply with modern standards.

There is a further double bedroom at second floor which has en-suite shower room provision. This room is situated largely within the existing roof zone and incorporates a dormer the full width of the dwelling. The glazing to the dormer is, as elsewhere, configured to match the existing fenestration.

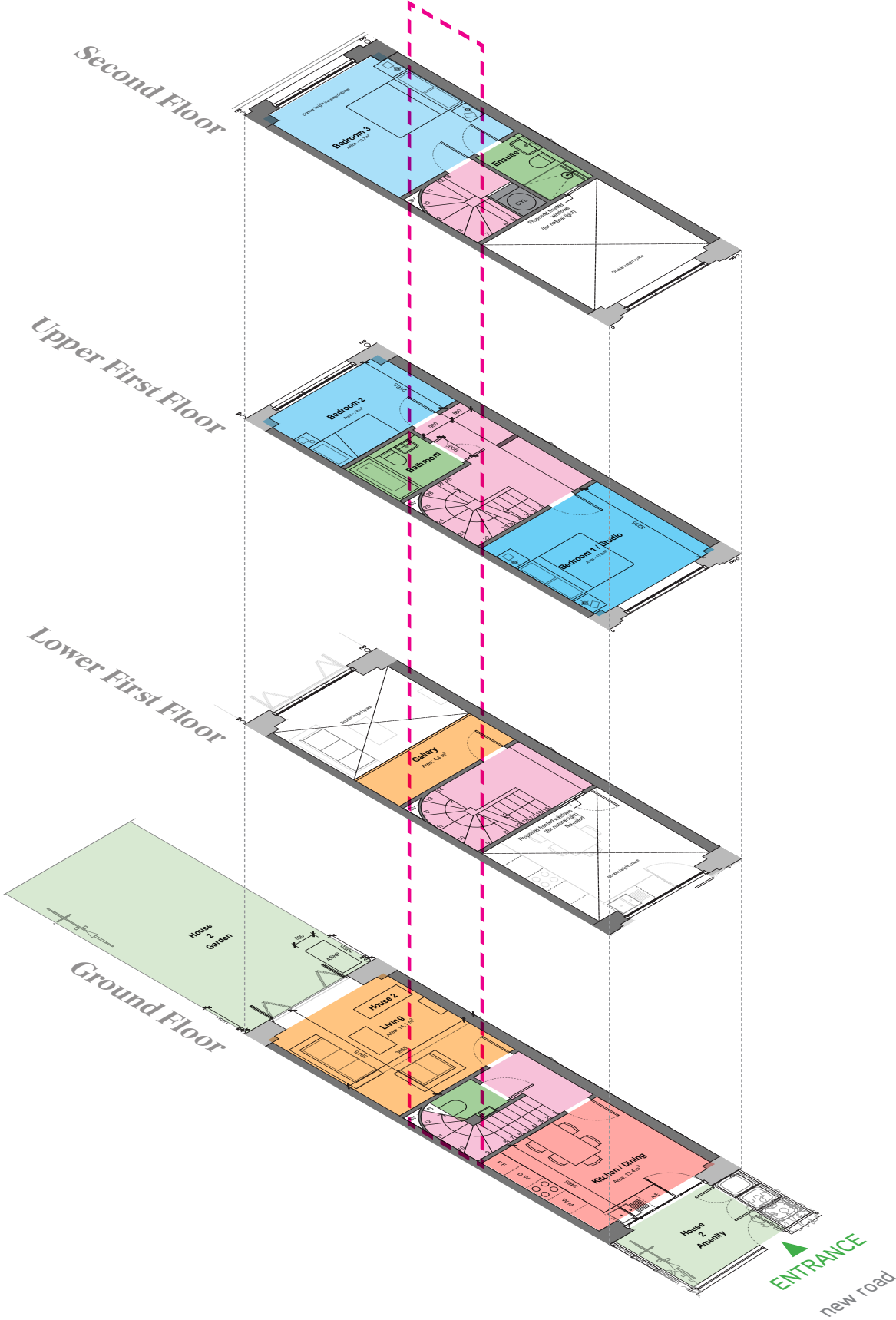


Fig. 30: Houses 1 - 4 - Isometric diagram indicating general floor plan arrangement.

03. Housing Component in Detail



Fig. 31: House 1 - 4 - Proposed section A-A

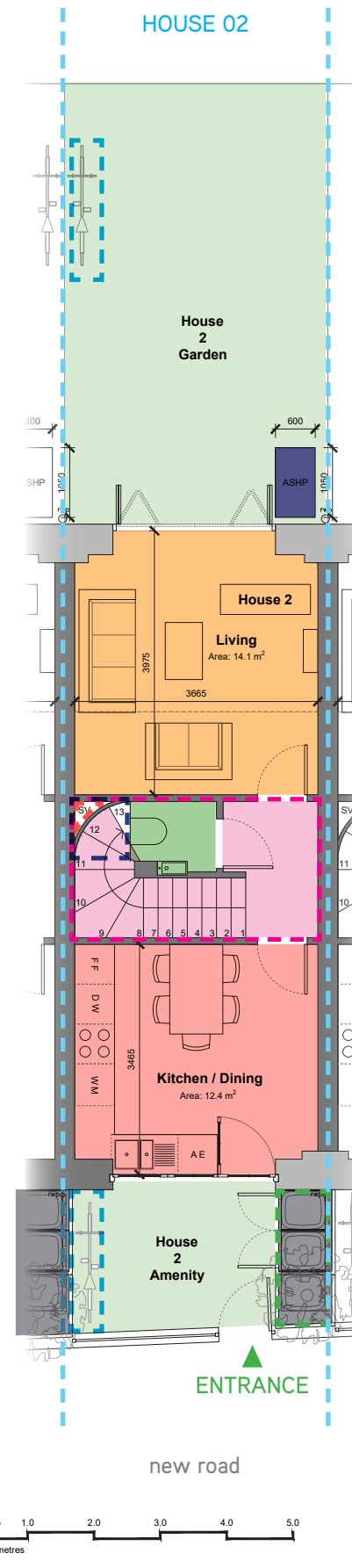
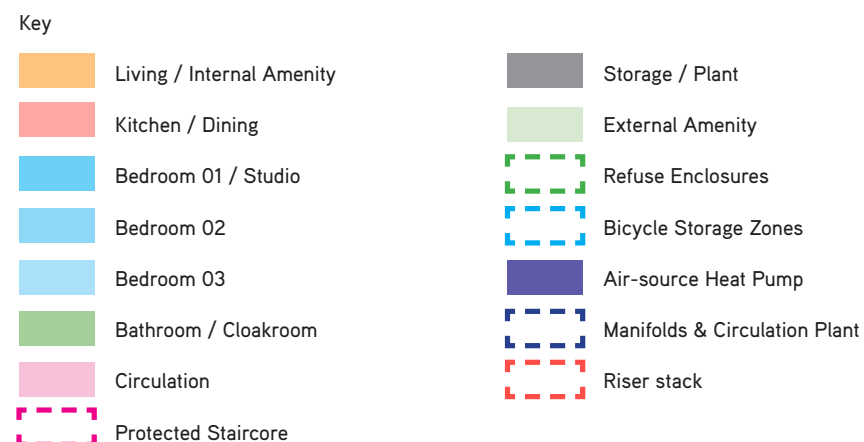


Fig. 32: House 1 - 4 - Proposed ground floor plan

3.1.1 Houses 1-4: M&E Installations

It is envisaged that the houses will be heated using individual, domestic heat-pump installations delivering through an underfloor heating system. The condenser units will be situated in the rear garden of each house with manifolds and circulation plant located below the staircase. The heat-pump installation will also provide domestic hot water, the cylinder being located at the top of the staircase.

3.1.2 Houses 1-4: Bicycle Storage

Anchored loops are provided for the locking of bicycles in the front garden of each house. There is space provision for covered bicycle storage in the rear gardens.

3.1.3 Houses 1-4: Outdoor Amenity Spaces

The houses have associated outdoor spaces to the front and rear, the front areas treated as semi-public and those to the rear as semi-private.

3.1.3 Houses 1-4: Outdoor Amenity Spaces

The houses have associated outdoor spaces to the front and rear, the front areas treated as semi-public and those to the rear as semi-private.

The front gardens are hard landscaped, paved predominantly with permeable resin-bonded gravel. Enclosures for refuse bin storage are situated at each party fence wall. These are constructed in treated timber with sedum matting to their roofs. Adjacent to each of these, a pit in the paving provides for the planting of small shrubs.

03. Housing Component in Detail

3.1.4 Houses 1-4: Refuse Storage

The front garden timber refuse enclosures have been sized to accept two 240-litre wheeled refuse bins. Householders will have the option of using the planted area next to the refuse store for a 240-litre garden refuse bin.

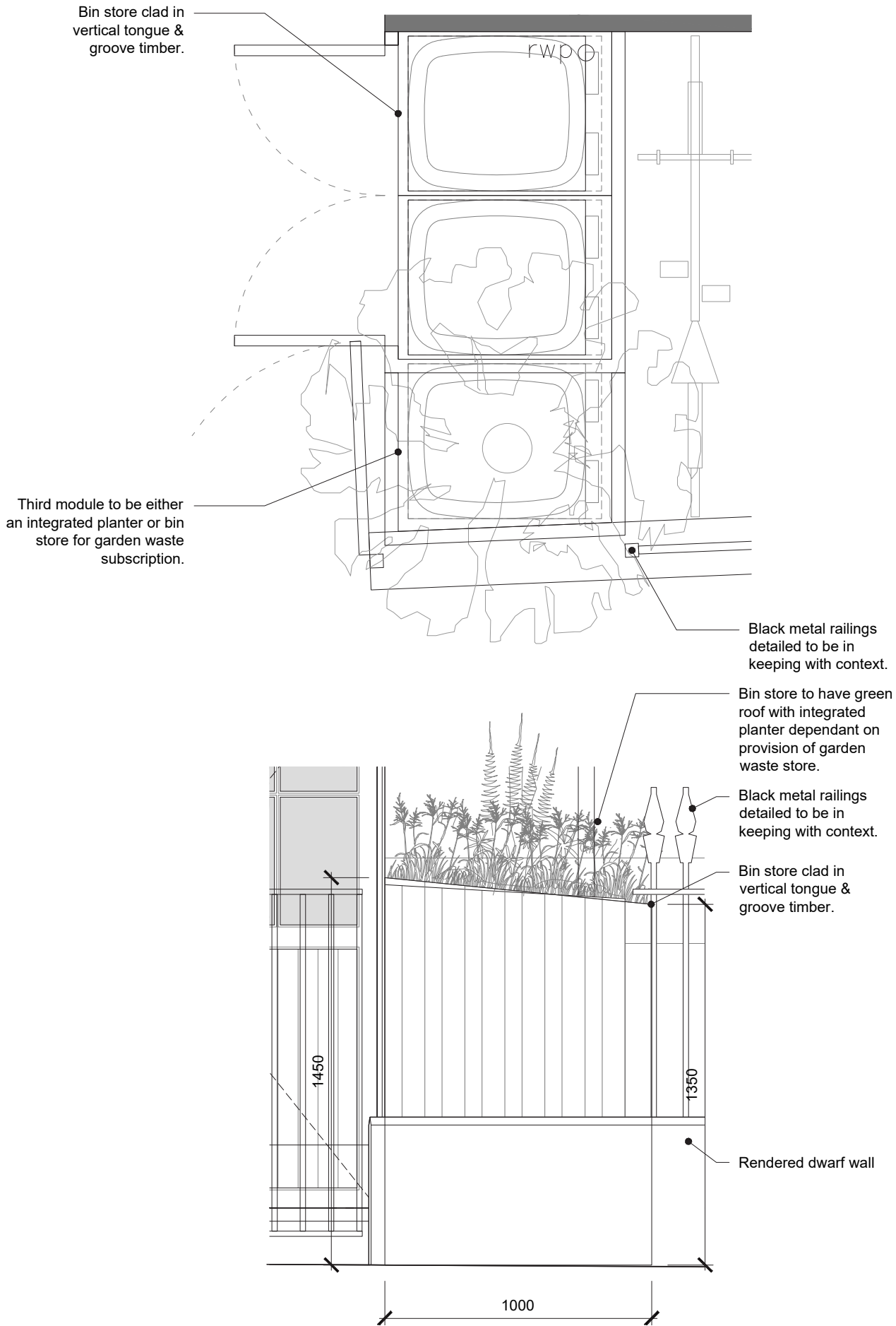
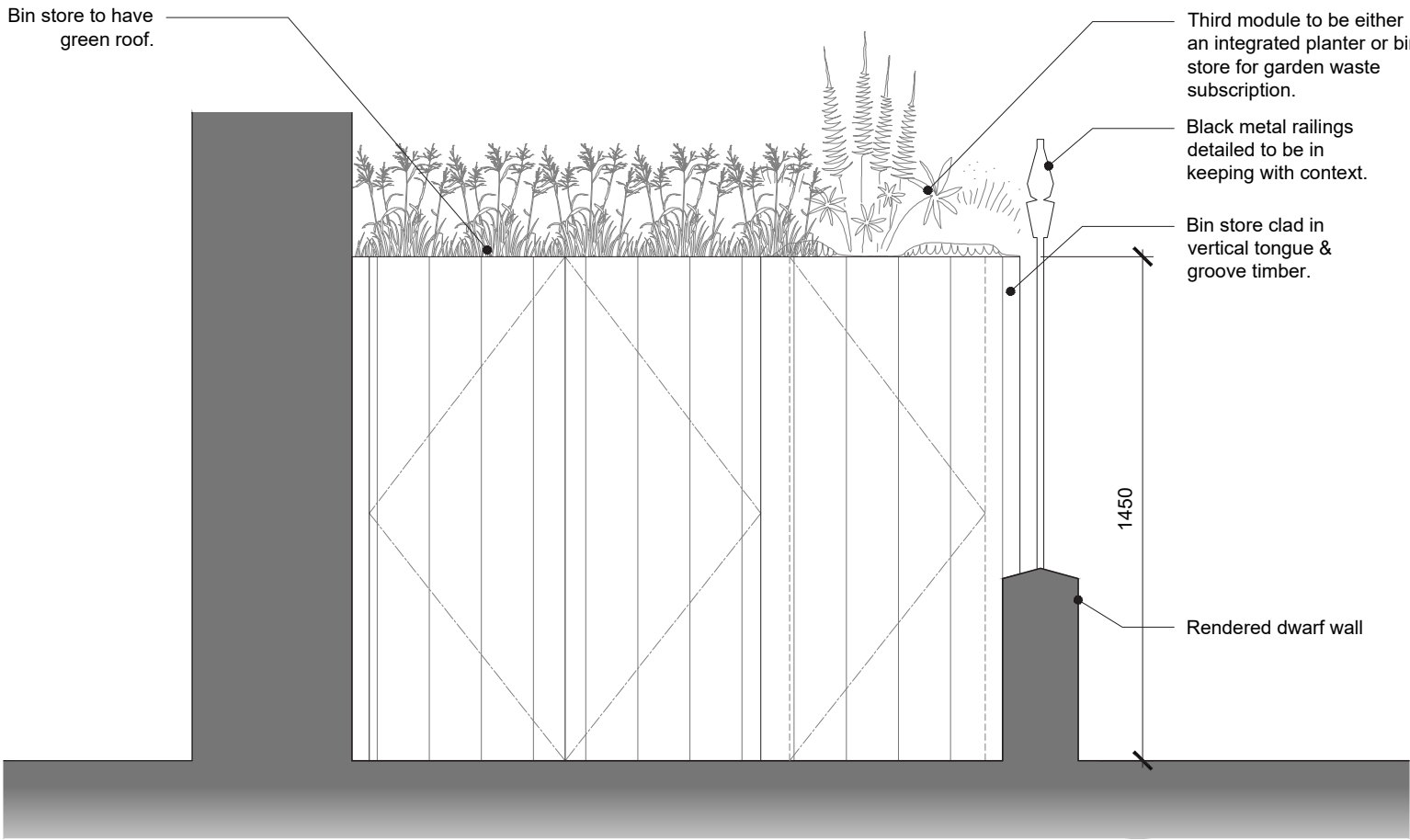


Fig. 33: Typical Bin Store Detail - Extract from 1094(51)002

03. Housing Component in Detail



Fig. 34: House 1 - 4 - Typical Front Elevation



Fig. 35: House 1 - 4 - Typical Rear Elevation

3.1.5 Houses 1-4: Materials

The walls of houses 1-4 are formed largely in the retained Edwardian structure. Where the two ground floor shop-frontages are removed, the structural bays will be reinstated in brick to match the existing building.

The new double-glazing to the front elevation will be held in timber frames replicating the existing glazing bar configuration which survives at first floor and reproducing the original timber profiles.

Similar fenestration will be installed to the rear of the houses, although at ground floor, bi-fold doors are provided across the width of the house.

The existing roofs are in poor condition and will be replaced in natural slate with leadwork flashings and detailing.

The vertical face of the rear dormer construction will be finished in lead or material of similar appearance. The flat roof membrane to the dormer construction will be black.

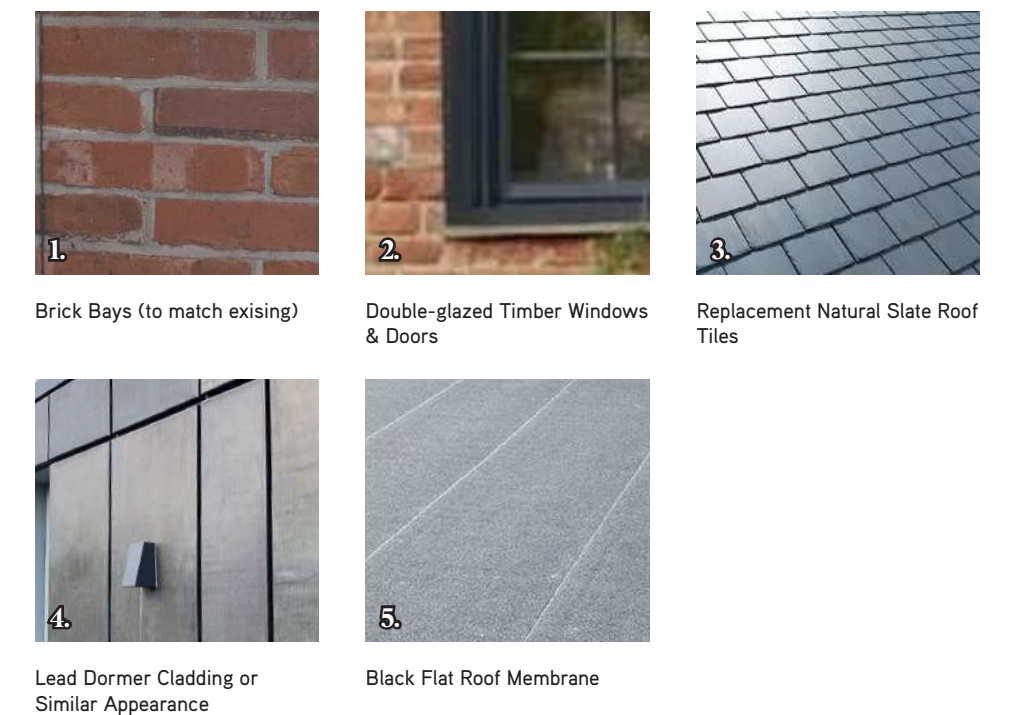


Fig. 36: House 1 - 4 - Material Palette

03. Housing Component in Detail

3.2.0 Design of the East Street House (House 5)

The internal structure of House 5 is largely in new construction behind the retained Edwardian frontage. Whilst the arrangement of the existing buildings does not lend itself to re-use or refurbishment, the new work adopts the existing floor-to-ceiling heights in the rooms directly behind the retained front (West) façade. The interiors to the rear of the house are constructed with modern ceiling heights. This part of the house contains the kitchen, bedroom and bathroom accommodation and is arranged over three floors.

The living room of the house is situated at the front of the dwelling and benefits from the large, retained window and the substantial floor to ceiling height. The kitchen/dining space opens directly onto the rear garden through bi-fold doors.

The staircase enclosure is in fire-resisting construction and leads directly to the front entrance door as the final exit.

Key

Living / Internal Amenity

Kitchen / Dining

Bedroom 01

Bedroom 02

Bedroom 03

Bathroom / Cloakroom

Circulation

Protected Staircore

Storage / Plant

External Amenity

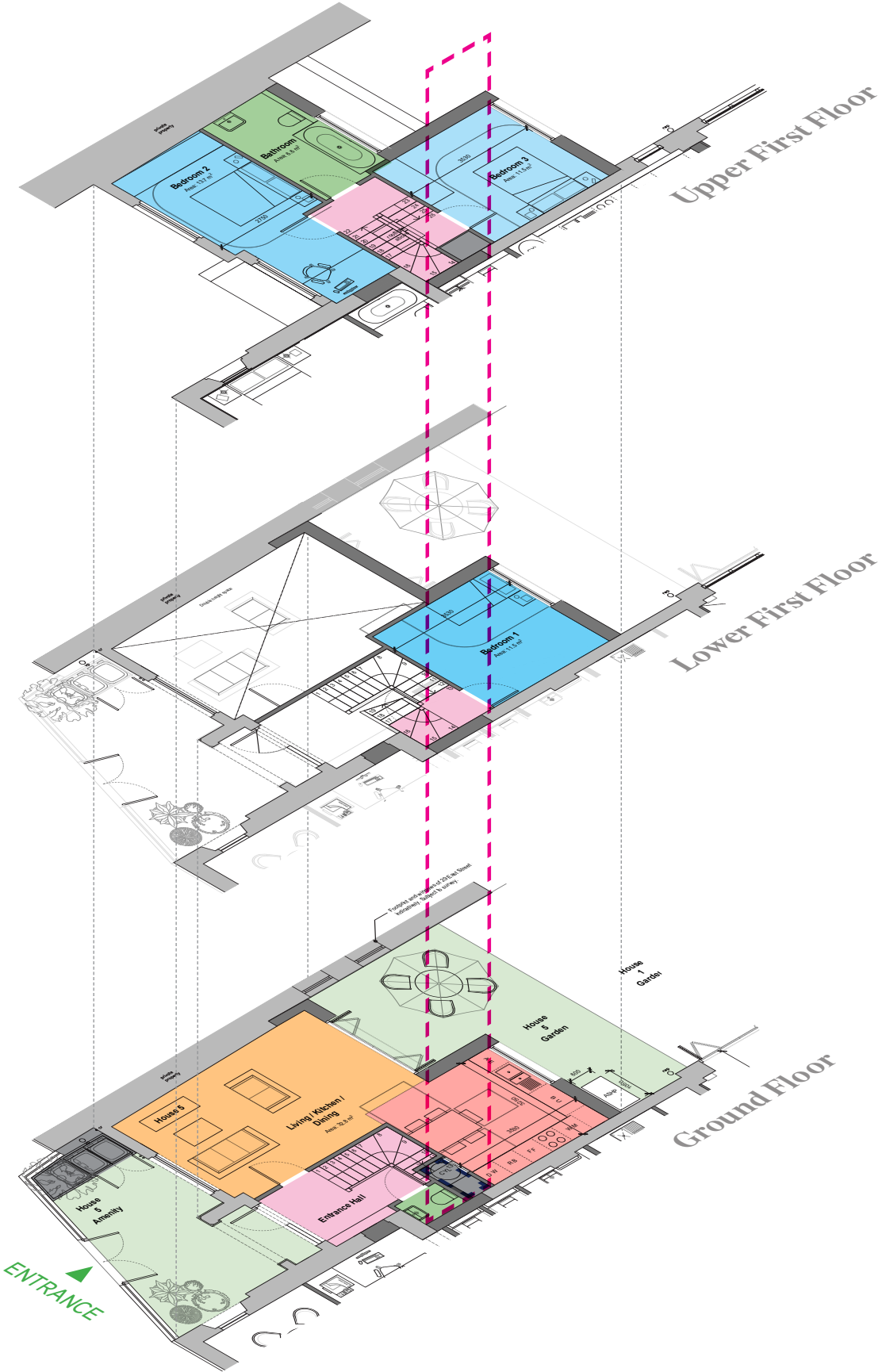


Fig. 37: Houses 5 - Isometric diagram indicating general floor plan arrangement.

03. Housing Component in Detail

3.2.1 House 5 M&E Installation

It is envisaged that the house will be heated using an individual, domestic heat-pump installation delivering through an underfloor heating system. The condenser unit will be situated in the rear garden of the house with manifold and circulation plant located below the staircase. The heat-pump installation will also provide domestic hot water, the cylinder being located at the top of the staircase.

3.2.3 House 5 Outdoor Amenity Spaces

The house has associated outdoor spaces to the front and rear, the front areas treated as semi-public and those to the rear as semi-private.

The front garden is hard landscaped, paved predominantly with permeable resin-bonded gravel or retaining the existing stone paving. Enclosures for refuse bin storage are situated adjacent to the party wall. It is constructed in treated timber with sedum matting to the roof. There is a pit in the paving to provide for the planting of small shrubs.

3.2.4 House 5 Refuse Storage

The front garden timber refuse enclosure has been sized to accept two 240-litre wheeled refuse bins. Householders will have the option of using the planted area next to the refuse store for a 240-litre garden refuse bin.



Fig. 38: House 5 - Proposed section B-B

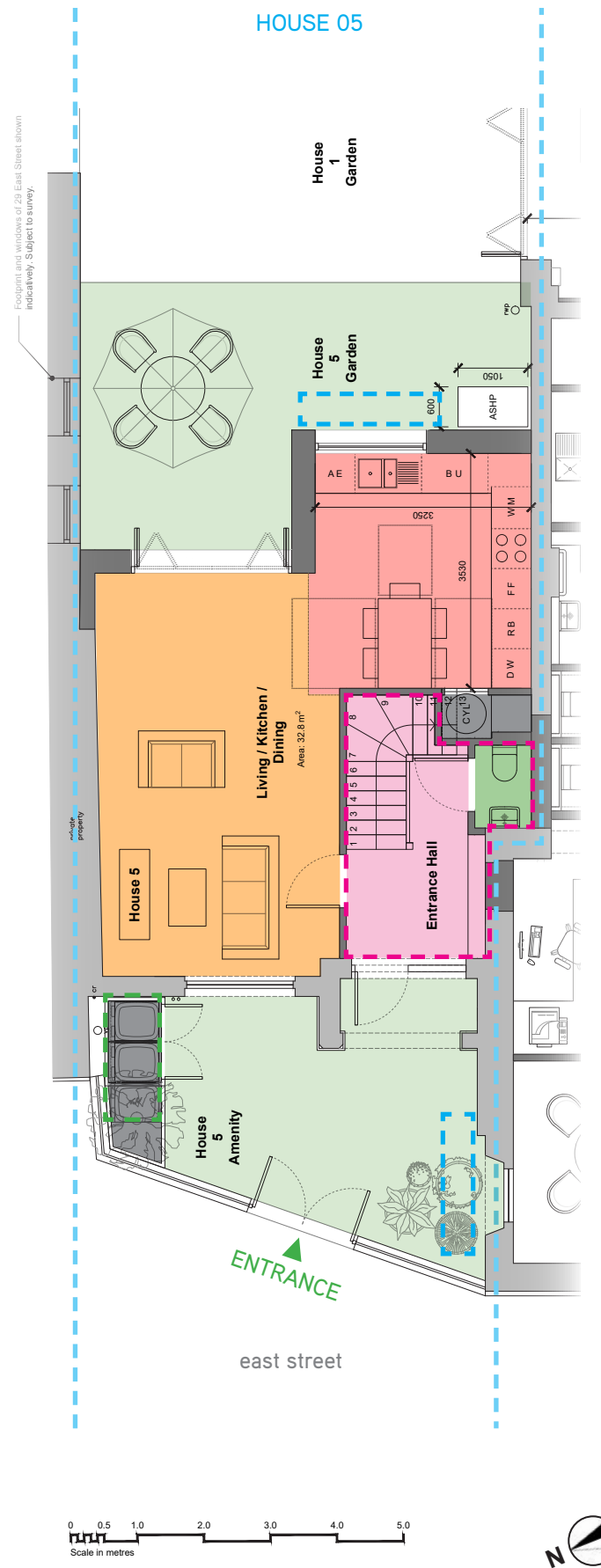
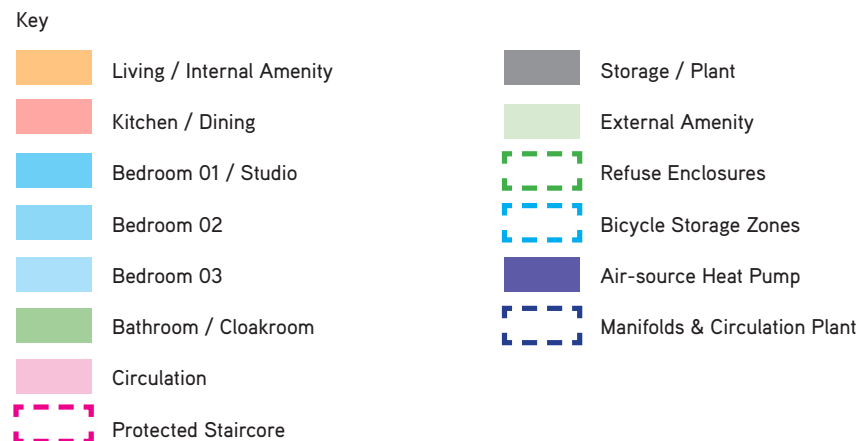


Fig. 39: House 5 - Proposed ground floor plan

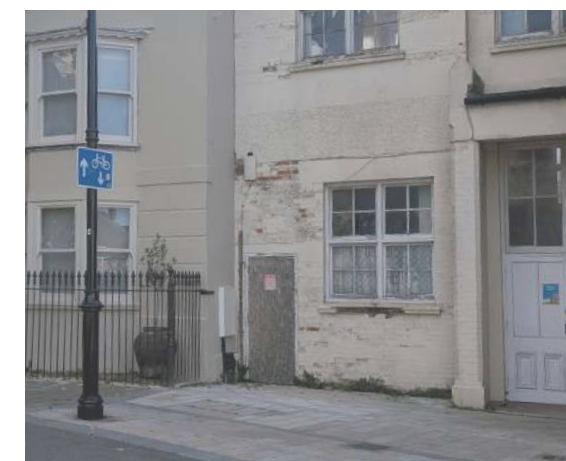


Fig. 40: House 5 - Photograph of existing paving & railings adjacent

03. Housing Component in Detail

3.2.5 House 5 Materials

The front facade of house 5 is formed by the retained Edwardian structure. The rear elevation is in new construction. This will be rendered and painted.

The new double-glazing to the front elevation will be held in timber frames replicating the existing glazing bar configuration and reproducing the original timber profiles.

Similar fenestration will be installed to the rear of the houses, although at ground floor, bi-fold doors are provided across the width of the house.

The flat roofs are concealed behind parapets and will not be visible from the street.



Fig. 41: House 5 - Material Palette



Fig. 42: House 5 - Proposed Front Elevation

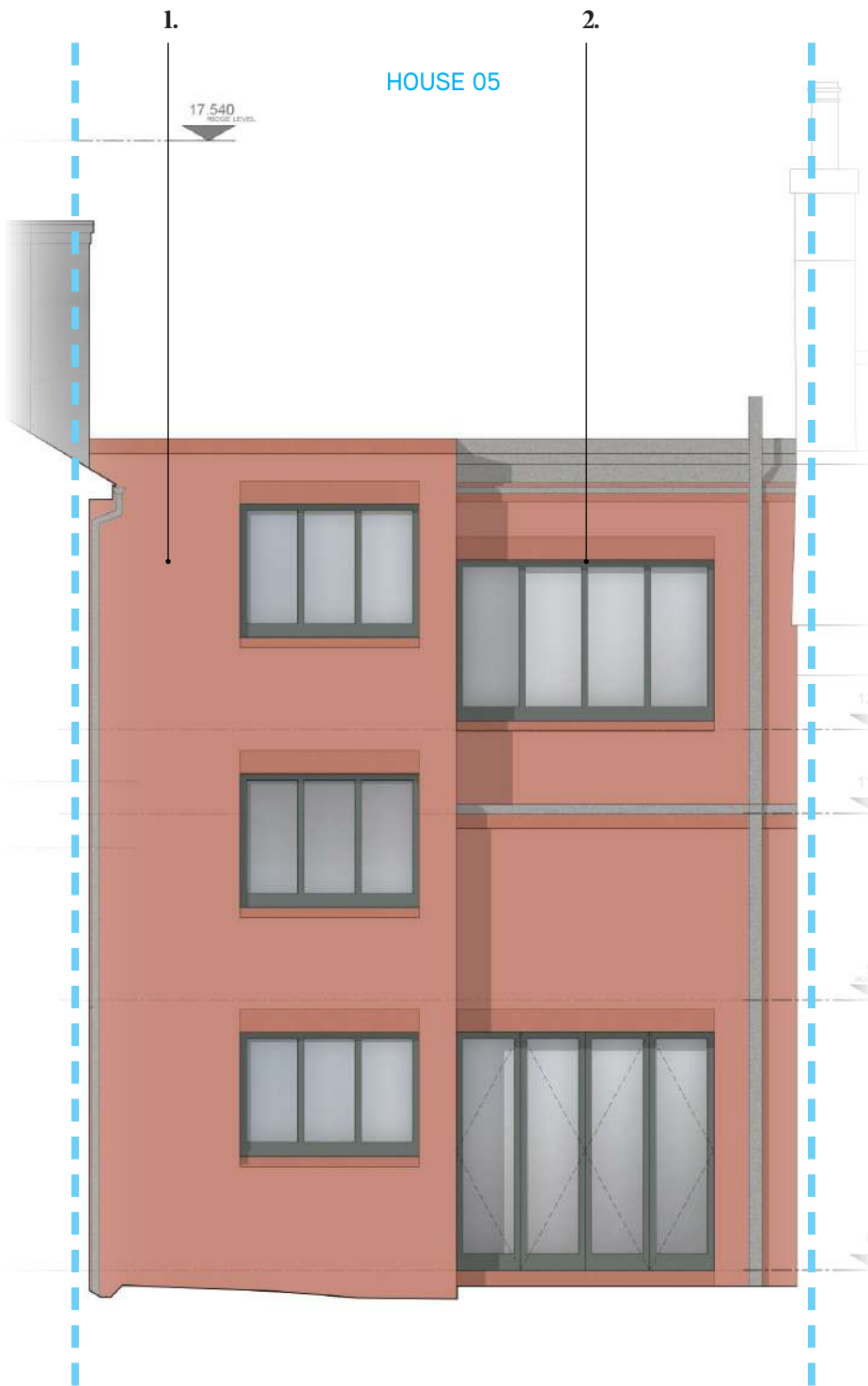


Fig. 43: House 5 - Proposed Rear Elevation

03. Housing Component in Detail

3.3.0 Pre-Application Advice

A submission was made for Pre-Application Advice (PREAPP/0072/25) which was discussed at a meeting with Adur and Worthing Planning on 7th July, 2025. The outcomes of this meeting were recorded in Adur and Worthing’s letter of 11th July, 2025.

The approach to the development, converting and refurbishing the buildings largely as they stand (rather than demolishing and new-build), was welcomed but the Planning Officer, Peter Barnett, made several observations concerning design.

It should be noted that the design has generally progressed and improved quite significantly since July but, working through the Planning Officer’s observations on the earlier design in the order that they appear in the 11th July letter (summarized in italics), we can respond as follows;

East Boundary Wall

Removal of staircase at Eastern end of building: a brick-built boundary wall replaces this structure.

Rear Dormer Height

Reduction in height of rear dormers “preferred”: We have reduced the height of the rear dormers by 400mm.

Thin Entrance Doors

Tall thin entrance doors to New Road “ungainly”: the entrance doors to the houses are now fully integrated into the fenestration design. Framing to the windows is in timber.

East Street Roof lights

Excessive number of roof lights on East Street elevation: the flat at first floor on East Street is no longer duplex and the roof windows on this elevation have been omitted.

Arched Window Heads

Restoration of arches above former antique shop “encouraged”: the first-floor windows to the East Street building are shown with lancet heads based on the partial removal of internal plaster finishes and historic photographs.

Front Railings

Amenity areas in front of houses require “boundary feature”: these external spaces are shown separated from the pavement with railings. These will be painted black.

Bin Stores

Screening of bins within bin store: the front amenity areas are shown with timber bin stores, each able to accommodate two large wheelie bins. The bin stores will have sedum roofs.

Residential Acoustic Separation

Conflict between apartment living spaces and bedrooms of Houses 1 and 5: House 5 and Apartment A have been replanned. An acoustic specialist (Isomass Building Acoustics) has been consulted with regard the wall between Apartment B and House 1; they have confirmed that satisfactory noise separation is achievable.

Room Sizing

Bedroom sizes for House 5 and Apartment A “below standard”; these units have been re-planned.

Density

Density of new residential development: the density of the scheme is a direct product of the sensitive adjustment of the existing buildings to accommodate the change of use.

Community/Residential Acoustic Assessment

Acoustic assessment of noise from community use: a full acoustic survey of existing street noise, conducted over a weekend period, has been undertaken and its performance recommendations for the new double-glazing specification have been adopted. This report is included as part of the submission.

An acoustic construction consultancy (Isomass Building Acoustics) have provided specialist advice regarding the floor, ceiling and edge detailing of the floor separating community and residential uses.

Ventilation and cooling strategic schematics are included in the submitted material.

04. Heritage and Design Aspects

4.1.0 Heritage and Design Approach

4.2.0 The East Street Building

4.2.1 The Original Construction of the East Street Building

4.2.2 The East Street Building Proposals

4.3.0 The New Road Elevation Generally

4.4.0 Works to the Rood of the New Road Stair

4.4.1 Apartment B Window and Terrace

4.4.2 Roof Recess for M&E Plant

4.5.0 The East Street House (House 5)

04. Heritage and Design Aspects

4.1.0 Heritage and Design Approach

The existing buildings are largely retained in their current form. The document identifies particular facets of the retained structures that will be modified to accommodate the change to residential use and opportunities to enhance the group of buildings through the removal of external treatments applied subsequent to their original construction.

4.2.0 The East Street Building

The Archaeological Assessment has established that the building fronting onto East Street is a 'National School' building commissioned by The Reverend Zacharias Henry Biddulph, a vicar of St Mary's de Haura, in 1831.

Evidence of the original appearance of the school house is scant but from maps, two photographs, and the removal of some internal plaster it is clear that the building has suffered significant alteration. This includes the removal of the projecting stair enclosure (refer to town plans 1872 and 1875) which abutted the north gable wall, the removal of its gable parapets (mid-20th Century photograph from church tower), the reduction and squaring of its first floor window openings, the enlargement of the ground floor window openings to East St, as well as several later applications of stucco and 'pebble-dash' renders.

St Mary's Hall

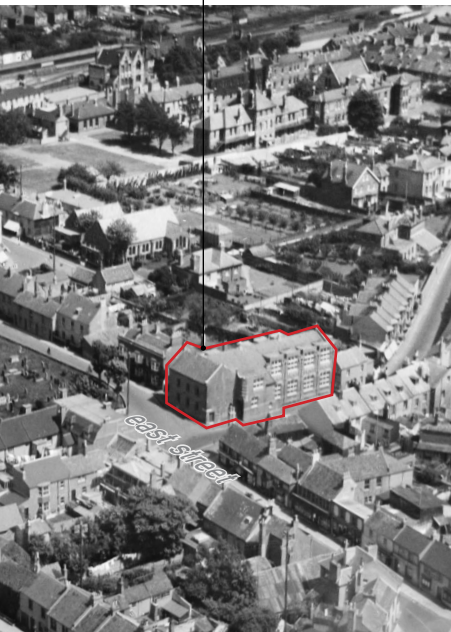


Fig. 44: Historic Aerial taken looking north up East Street (EPW018085 ENGLAND (1927))

St Mary's Hall

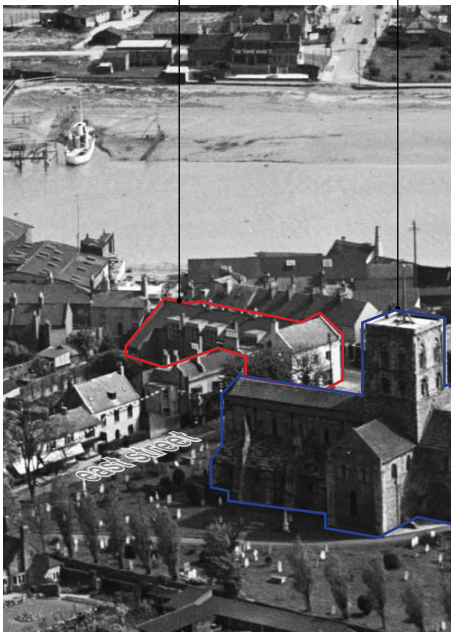


Fig. 45: Historic Aerial taken looking south across St Marys Church (EPW054144 ENGLAND (1937))

St Mary's Church

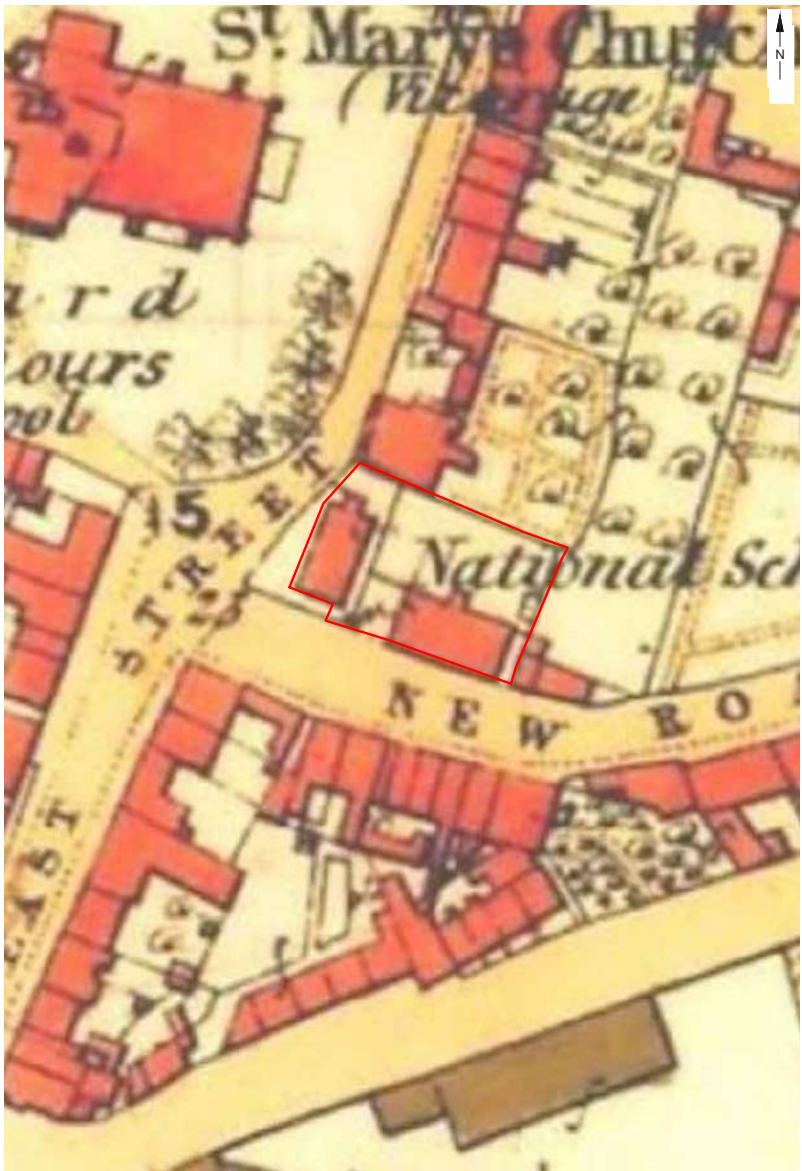


Fig. 46: Town plan, 1872



Fig. 47: Ordnance Survey, 1931

04. Heritage and Design Aspects

4.2.1 The Original Construction of the East Street Building

Minor internal investigative works indicate the presence of gothic arch heads above each of the first floor windows to the East Street elevation. Whilst these are executed in brick, it is likely, given the 1831 construction date (before the railway made bricks more widely available) that the walls are in flint and lime riempiuta, or coffer-work known locally as 'bungeroosh.' As such, the exterior would almost certainly have been finished in a lime render.

We are able from a photograph of 1901 to ascertain the outline of the lancet windows in the render of the South elevation through the scarring outline of their infill but no indication of the original stucco treatment of the openings or their reveals is available at this time. The original treatment and decoration of the walls generally is similarly either lost or concealed.

The roof appears to retain its original timber structure under the current slates.



Fig. 48: Existing photo of original brick arch reveals discovered



Fig. 49: Existing photo of original brick arch reveals discovered



Fig. 50: View looking eastwards along New Road during the opening ceremony of St Mary's Hall in 1901

04. Heritage and Design Aspects

4.2.2 The East Street Building Proposals

The proposals show a partial restoration of the East Street building based on the information currently available; it is likely that the design will develop as investigative works reveal more of the building’s underlying construction.

At ground floor, the window and door structural-openings remain largely unchanged. The new fenestration to openings will be double glazed in painted timber framing, configured to suit the new use of this building as a church/community centre. This includes the insertion of openable folding glass doors to the two wider East Street openings.

At first floor, the proposed elevations show the removal of later renders and pebbledash, the recovery of the original lancet windows and the application of a stucco lime render. In the absence of any evidence concerning the articulation of the original render, this is shown smooth except for a shallow rebate/chamfer around the new window openings. It is currently envisaged that the first floor render will not be painted although this position will be reviewed as the investigative works progress.

The glazing bar configuration for the arched head openings is indicated to a common pattern for the period. It is likely that the acoustic performance necessary for the Change of Use will preclude the specification of openable sash windows but the frames will be configured to replicate their appearance as far as is reasonable.

At roof level, the original gable parapets are reinstated to the North and South elevations. The roof covering will be renewed in natural slate.



Fig. 51: Rendered Front Elevation - St Mary's Hall



Fig. 52: Rendered Street Elevation - East Street



Fig. 53: White Model Perspective - Taken at the junction between East Street & New Road looking east



Fig. 54: Example of gothic window used to inform glazing bar fenestration



Fig. 55: White Model Perspective - Taken on East Street looking south

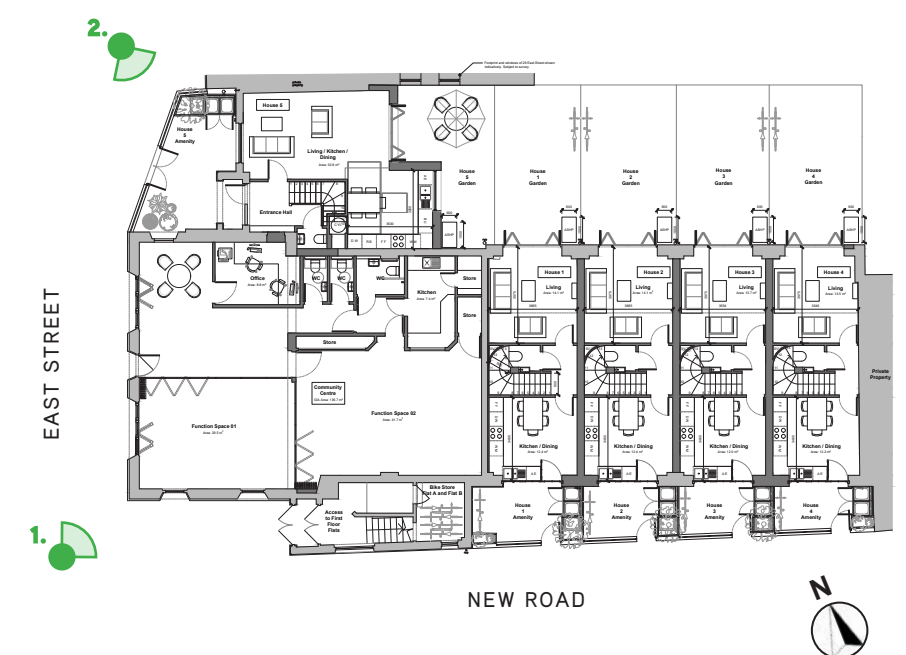


Fig. 56: Key plan ground floor indicating location of perspective views

04. Heritage and Design Aspects

4.3.0 The New Road Elevation Generally

The elevations to New Road were completed in 1901. At ground floor, the elevations are largely in red brick with stucco banding and other details. Above this, the base finish to the upper half of the building is pebbledash render with stucco detailing and red brick/stucco bands to the shallow pilasters that mark the structural bays. The stucco detailing is restrained in its articulation. Both the stucco and pebbledash remain in their natural finish and have not been painted.

The existing single-glazed timber-framed fenestration is in poor condition and appears to have been modified/repaired/overglazed using plastics materials. The windows are to be replaced to the same pattern but double-glazed to meet current Buiding Regulations requirements and the acoustic performance associated with the Change of Use to residential units.

At ground floor, the original rhythm of the four structural bays is restored in brickwork to closely match the original in surface finish and colour. The glazing bar configuration of the new fenestration is derived from the surviving windows at first floor but incorporating into their design the individual entrance doors of the dwellings.

The window framing is shown finished in a dark green derived from surviving examples from the first half of the 20th Century and which compliments both the red brickwork and the natural finish stucco.

The roof is to be replaced retaining the current ridge and eaves lines. Two conservation roof windows are introduced into the roof towards its Eastern end to provide apartment B with additional daylight.



Fig. 57: Rendered Front Elevation - Houses 1 - 4



Fig. 58: Rendered Street Elevation - New Road



Fig. 59: White Model Perspective - Taken on New Road looking east



Fig. 60: Example of green windows & doors on red brickwork



Fig. 61: White Model Perspective - Taken on New Road looking north

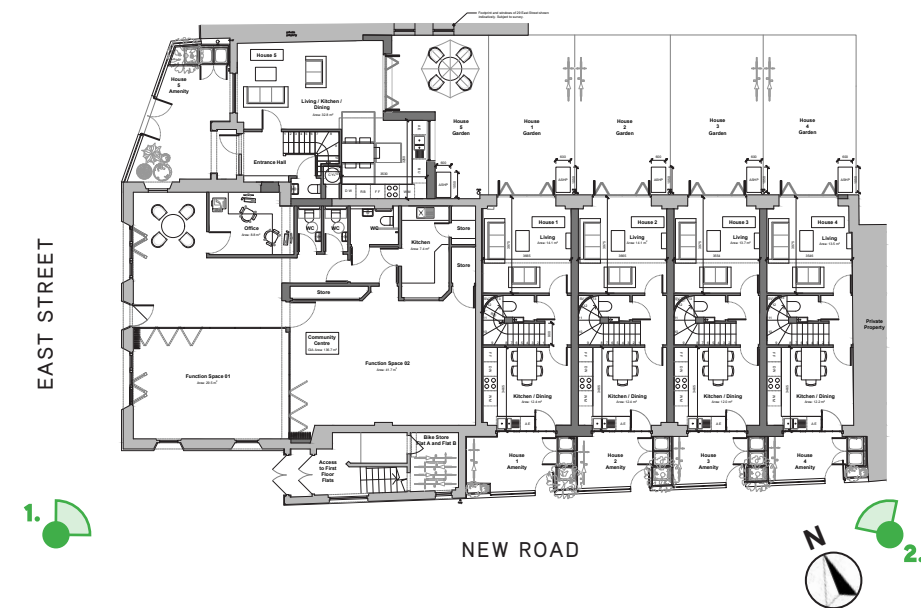


Fig. 62: Key plan ground floor indicating location of perspective views

04. Heritage and Design Aspects

4.4.0 Works to the Roof of the New Road Stair

The New Road stair is part of the 1901 construction and is similarly finished in red brick and pebble-dash with stucco banding and other details.

The walls of the stairway are to be retained in their entirety, the single glazed windows being refurbished rather than replaced as there is no requirement to improve their performance thermally or acoustically. A small amount of remodeling is however proposed at roof level behind the parapet.

4.4.1 Apartment B Window and Terrace

The western end of the stair enclosure, above its half landing, is currently roofed by an extension of the pitched slate roof that covers the New Road building generally. This is taken back to the general eaves line allowing the insertion of a window for Apartment B.

It also creates a small area of flat roof suitable for a terrace. The terrace has a floor area of approximately 3.5m2. The terrace is accessed through a glazed door from the living room.

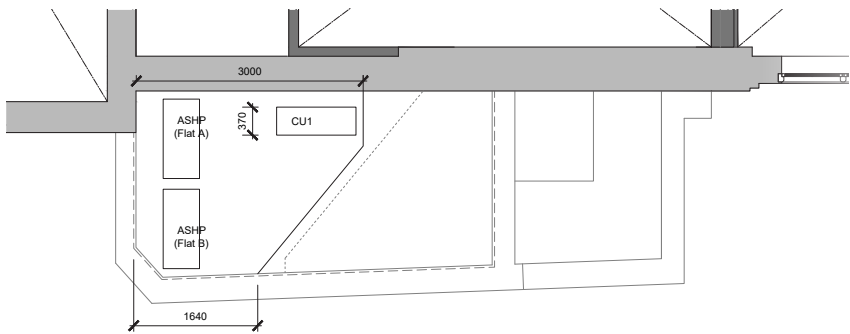


Fig. 63: Staircore - Proposed roof plan

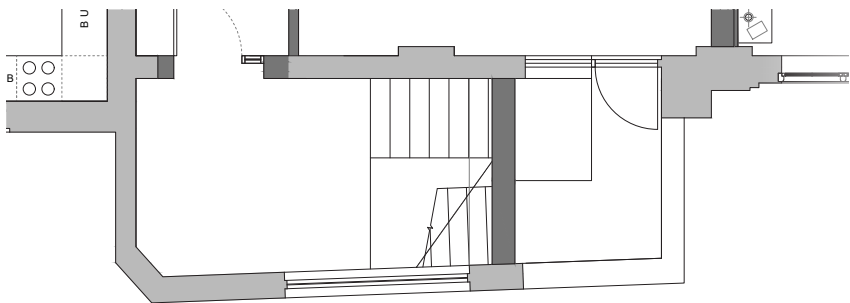


Fig. 66: Staircore - Proposed upper first floor plan

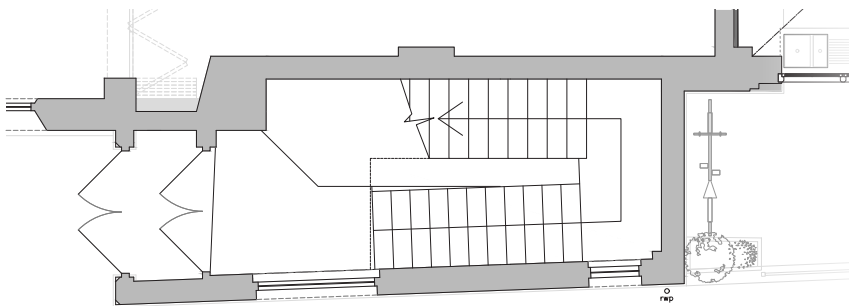


Fig. 65: Staircore - Proposed lower first floor plan

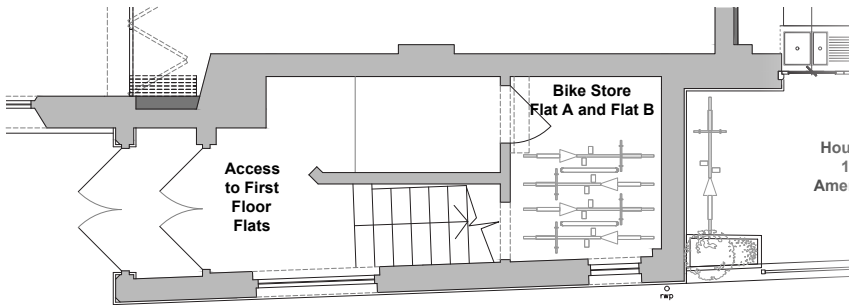


Fig. 64: Staircore - Proposed ground floor plan

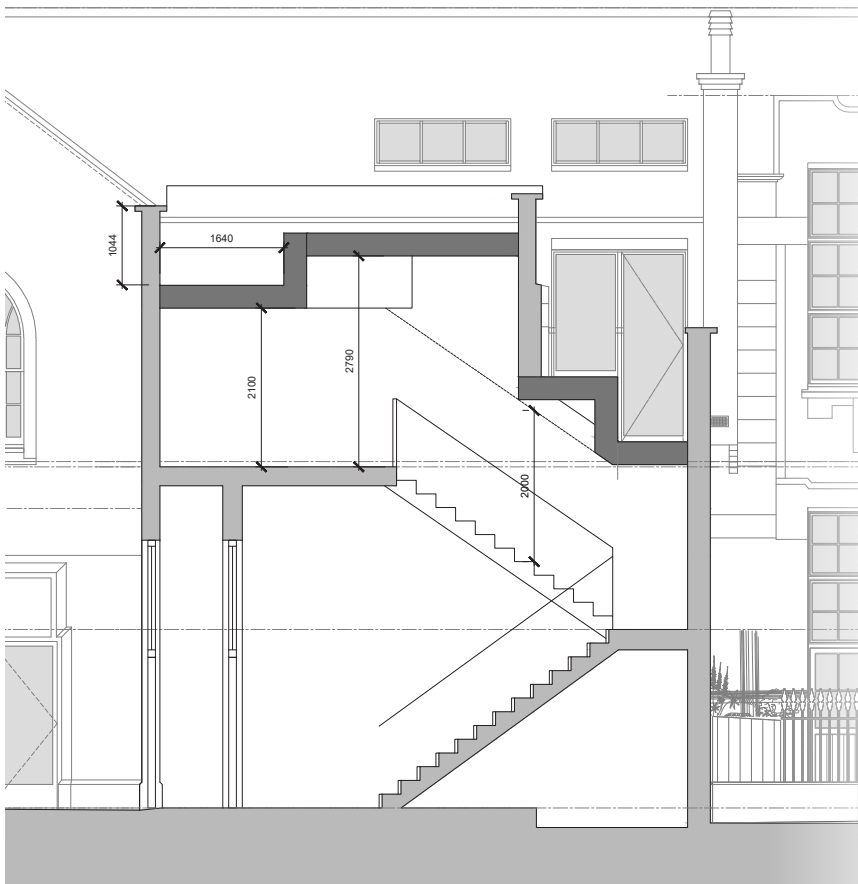
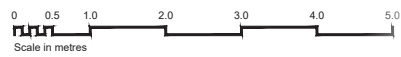


Fig. 67: Staircore - Proposed section C-C



04. Heritage and Design Aspects

4.4.2 Roof Recess for M&E Plant

The proposals include an area of the flat roof over the top stair landing which is lowered to create a space for the two apartments' heat pump condensers and an AC unit serving the church community centre. The existing parapet level is retained; the lowered area of roof is approximately 1 metre below the coping so the heat-pump condenser units are fully concealed from street level. An access hatch will be inserted into the new roof providing maintenance access for the plant.

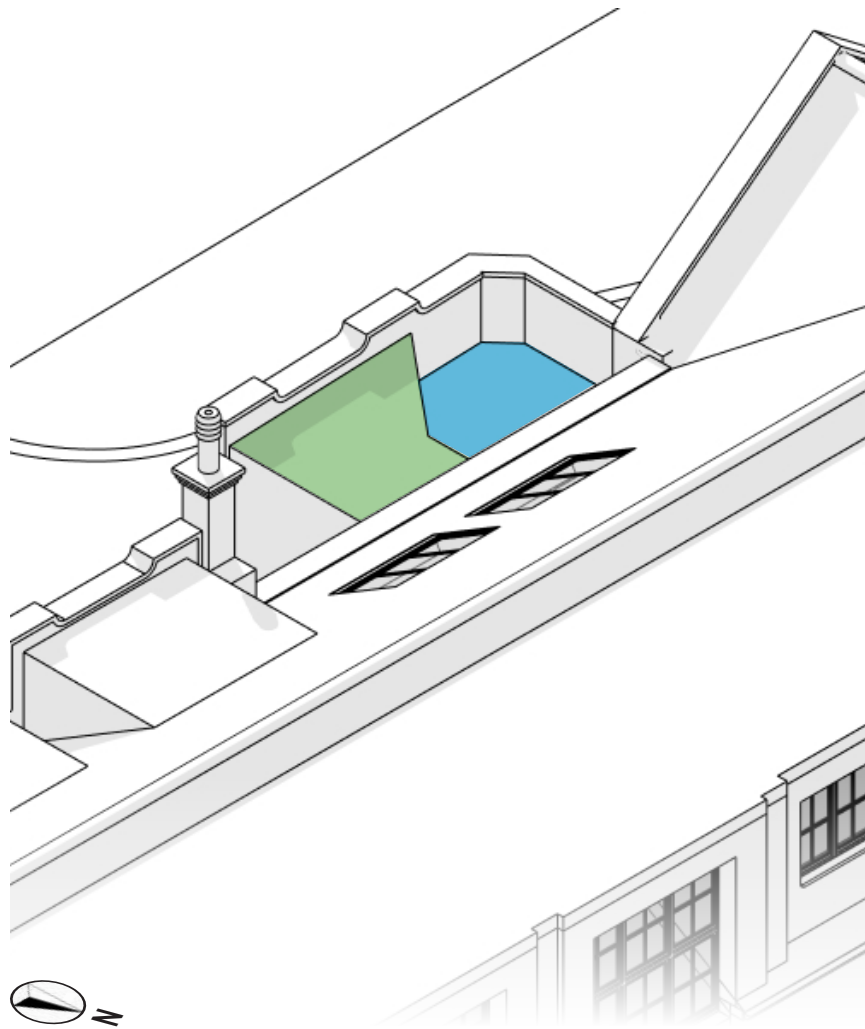
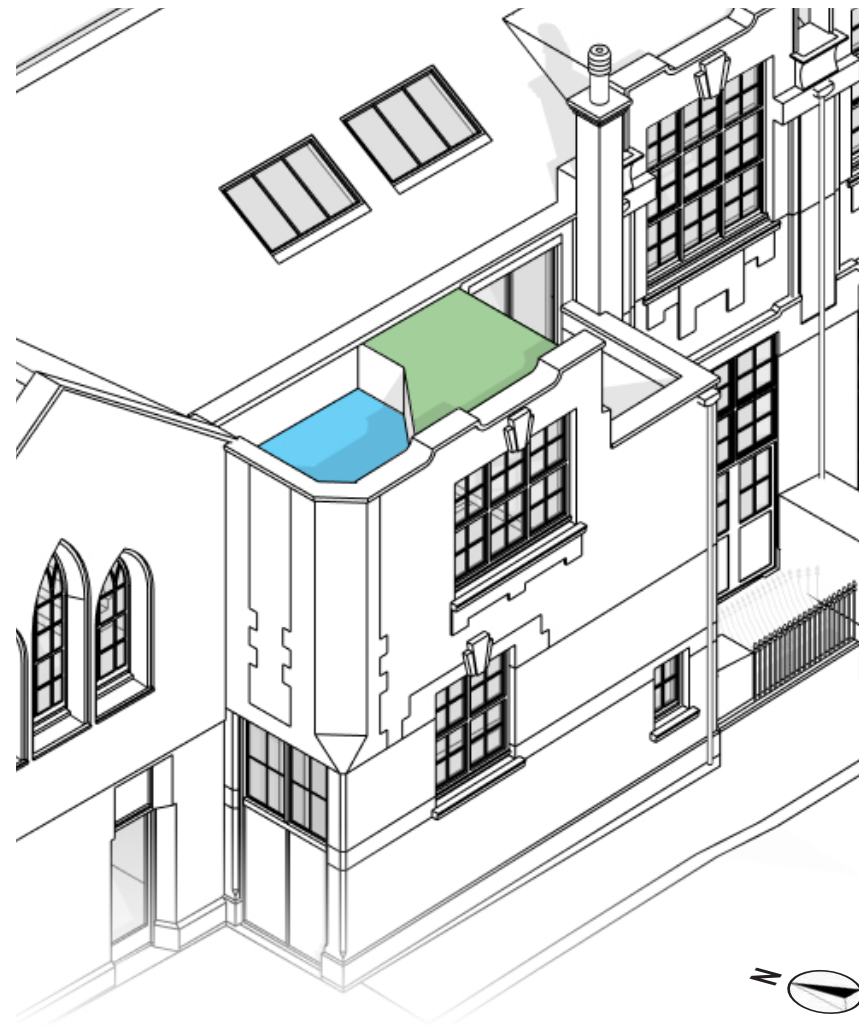


Fig. 68: Isometric drawings showing recess in existing staircore roof



Key

- Existing Roof Retained / Refurbished
- New roof lowered to conceal equipment behind parapet

04. Heritage and Design Aspects

4.5.0 The East Street House (House 5)

House 5 is constructed behind the retained façade of the old hall’s staircase and ancillary accommodation. It is part of the 1901 construction and was articulated and detailed in the same manner as the New Road elevations. Unlike the New Road façade, this part of the building has been painted; the current top-layer appears to be ‘Magnolia.’

The paint layers were poorly specified and have not been maintained. This has led to water becoming trapped behind the paint layers causing frost spalling in the areas of brickwork. It is likely that the paint has been similarly deleterious to the areas of pebble-dash render and stucco. A full restoration of this façade is unlikely to be practicable and it is shown in the proposals painted a warm brick-red to link it through to the New Road frontages. As with the houses on New Road, the existing glazing arrangement is reproduced but glazed to meet the thermal performance required by the Building Regulations and the acoustic performance indicated for the Change of Use to residential accommodation.



Fig. 69: Rendered Front Elevation - House 5



Fig. 70: Photos of existing front elevation



Fig. 71: Rendered Street Elevation - East Street

05. Design for Inclusive Access

5.1.0 Design for Inclusive Access: The Community Centre

5.1.1 Overall Design and Planning

5.1.2 The Main Entrance

5.1.3 The Toilet Provision

5.1.4 Lighting

5.2.0 Design for Inclusive Access: The Houses and Apartments

5.3.0 Design for Inclusive Acces: The Houses

5.3.1 The Front Entrances to the Houses

5.3.2 Circulation Within the Houses

5.4.0 Design for Inclusive Access: The Apartments

5.4.1 Communal Stair Access to the Apartments

5.4.2 Circulation Within the Apartments

05. Design for Inclusive Access

5.1.0 Design for Inclusive Access: The Community Centre

5.1.1 Overall Design and Planning

The Church/Community Centre is planned to be readily legible, with a simple arrangement of rooms entered from a single circulation route, to promote accessibility for visitors with visual or learning disabilities and provide a comfortable environment for neuro-diverse users.

Entry to the centre is via a supervised space where visitors can be met and directed to the appropriate parts of the building. Additionally, all rooms within the church/community centre will be fitted with appropriate signage in accordance with the recommendations of BS 8300. The administrative office is entered directly from the entrance space.

Within the centre, there is a clear hierarchy of room uses, the main spaces grouped to one side of the circulation route, WC accommodation closely grouped together, and areas designated for staff access only, such as kitchen and storage areas, grouped at the furthest extent of the circulation.

The church/community centre has a single floor level.

5.1.2 The Main Entrance

The name of the church/community centre, and the building number, will be displayed using appropriate signage on the principal elevation. The symmetrical window distribution and the centred main entranceway assist wayfinding.

It is envisaged that the existing central entrance to the East Street Building will be retained for use by the church/community centre. Surveys show a clear opening width of 880mm. Although this is suitable for a forward-facing approach by many wheelchair users, its widening would broaden the inclusivity of the centre. There is a clear and wide stretch of pedestrian pavement adjacent to the door permitting a head-on approach.

It is envisaged that the door will have an automated opening facility and/or a suitable intercom linked to the administrative office. The threshold to the main entrance will be level.

The provision of a drop-off/pick-up layby close to the entrance could be considered in collaboration with the local authority. The nearest accessible parking bays are located in Taramount Lane Car-Park and The Shoreham Centre as well as some street parking provision in adjacent roads.

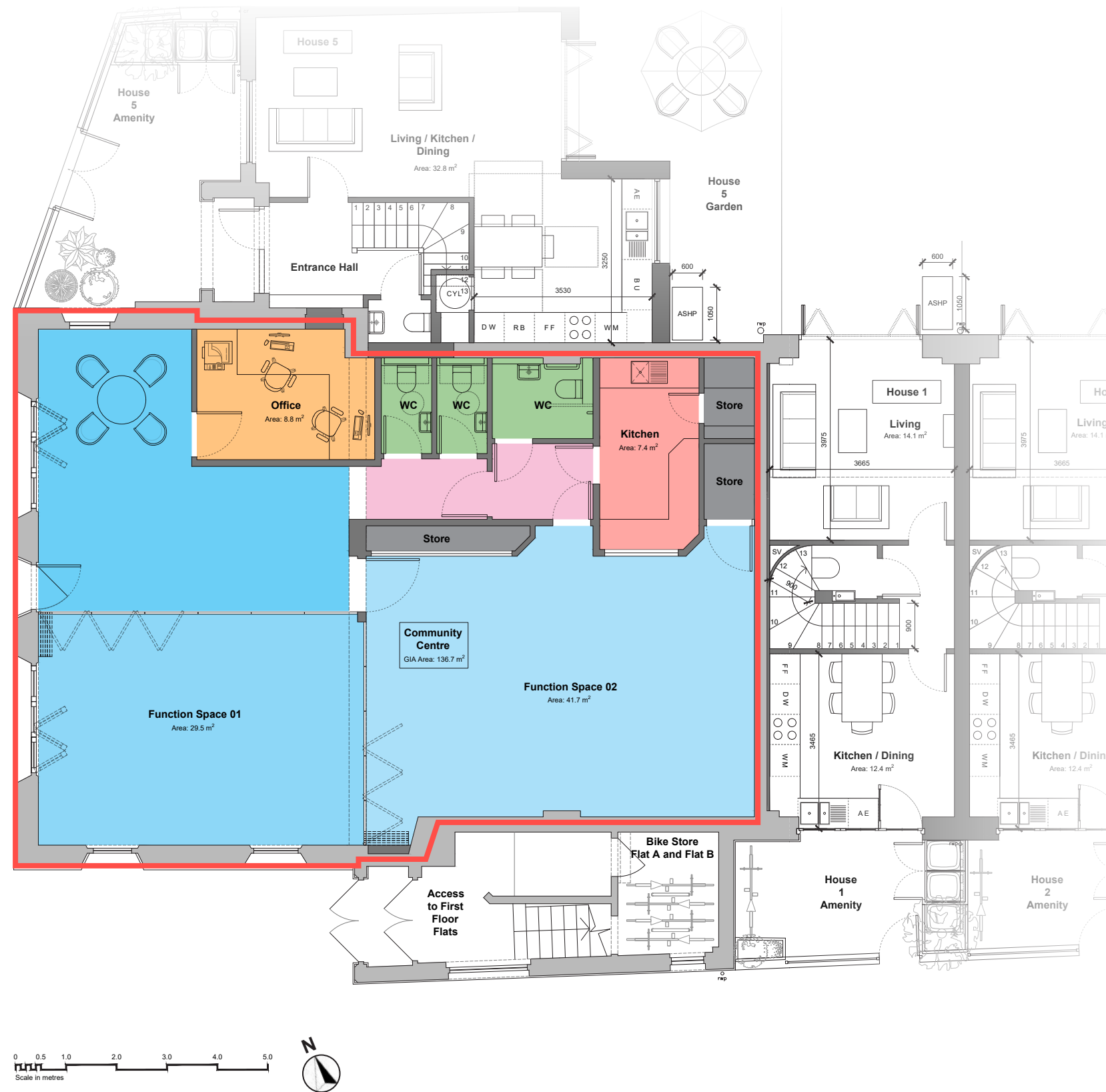


Fig. 72: Indicative Community Hall Plan

05. Design for Inclusive Access

5.1.0 Design for Inclusive Access: The Community Centre

5.1.3 The Toilet Provision

It is currently envisaged that the centre will have three WC compartments, although this will depend on occupancy densities determined by the end user.

One of the compartments will be designed for wheelchair users in accordance with BS8300 guidance. The two remaining compartments will be designed for ambulant disabled users in accordance with Part T of the Building Regulations.

5.1.4 Lighting

The location and design of artificial light sources will be carefully managed to minimise glare whilst ensuring appropriate illumination to facilitate safe movement, wayfinding and lip-reading.

The public street lighting appears to allow safe movement around the entrance to the building.



Fig. 73: Photographs of existing pavement along East Street (left) and New Road (right)

05. Design for Inclusive Access

5.2.0 Design for Inclusive Access: The Houses and Apartments

For the purposes of meeting the Building Regulations, the dwellings have been designed to meet the guidance of Part M4(1), Visitable Dwellings. Additionally, within the restrained parameters of an existing building located in a conservation area, the design has, where possible, incorporated Lifetime Homes recommendations into the dwellings.

5.3.0 Design for Inclusive Acces: The Houses

The restrictions of the retained building and the 4.5m floor to floor height preclude the future installation of a through-floor lift. The stairways have a designed width of 900mm and clear landings allowing the possible installation of a stair-riser lift.

Within the limitations of the existing floorplate, the first-floor bathroom has been designed to be operable with the door open to give additional manoeuvring space in the use of this room.

The ground floor WC compartment has been designed to meet the guidance of Part M for a visitable domestic WC facility (front transfer). The restricted dimensions of the existing building preclude the provision of a future shower zone in the compartment to satisfy Lifetime Homes guidance although the provision of a future shower outlet drain connection in a position suitable for an extension of the Ground Floor WC compartment will be investigated when the floor construction of the existing building is more apparent.

5.3.1 The Front Entrances to the Houses

Access from back of highway pavement to the dwellings' front gardens will be level.

The front entrance door will have a clear width of 800mm in accordance with Lifetime Homes standards and a level threshold. The dwelling entrance door opens directly onto the kitchen; there is a clear 1500mm diameter turning circle immediately within the door.

An outdoor light will be provided adjacent to each entrance door.

5.3.2 Circulation Within the Houses

All internal doors are sized in accordance with Lifetime Homes Standards/Building Regulations Part M. There is a 300mm clear zone adjacent to the leading edge of all doors to habitable rooms.

The threshold to the rear garden patio will be level.

05. Design for Inclusive Access

5.4.0 Design for Inclusive Access: The Apartments

5.4.1 Communal Stair Access to the Apartments

The retained New Road Staircase provides access for the two 2-bedroom apartments situated on the first floor of the East Street building and above the church/community centre. The stairway width is 1050mm with large landings at top and bottom. The apartment design recognizes that the stairway may at a later date be assessed as suitable for the installation of a stair-riser platform lift.

5.4.2 Circulation Within the Apartments

All internal doors are sized in accordance with Lifetime Homes Standards/Building Regulations Part M. There is a 300mm clear zone adjacent to the leading edge of all doors to habitable rooms.

The stairway to apartment A has a designed width of 900mm and clear landings allowing the possible installation of a stair-riser lift. The change in floor level within the hallway of Apartment A is arranged to allow for the future installation of a stair-riser lift.

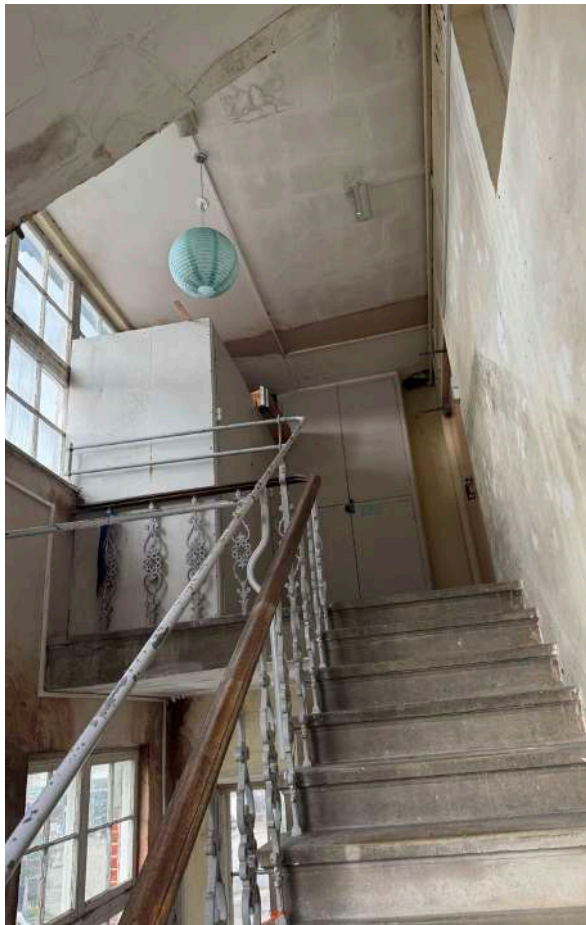


Fig. 74: Photo of existing stairwell from New Road

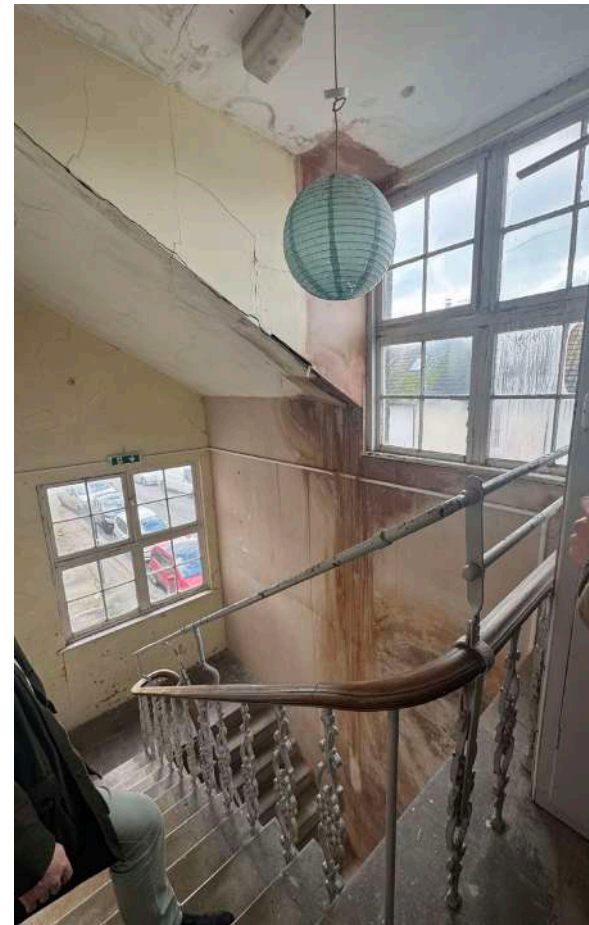


Fig. 75: Photo of existing stairwell from New Road

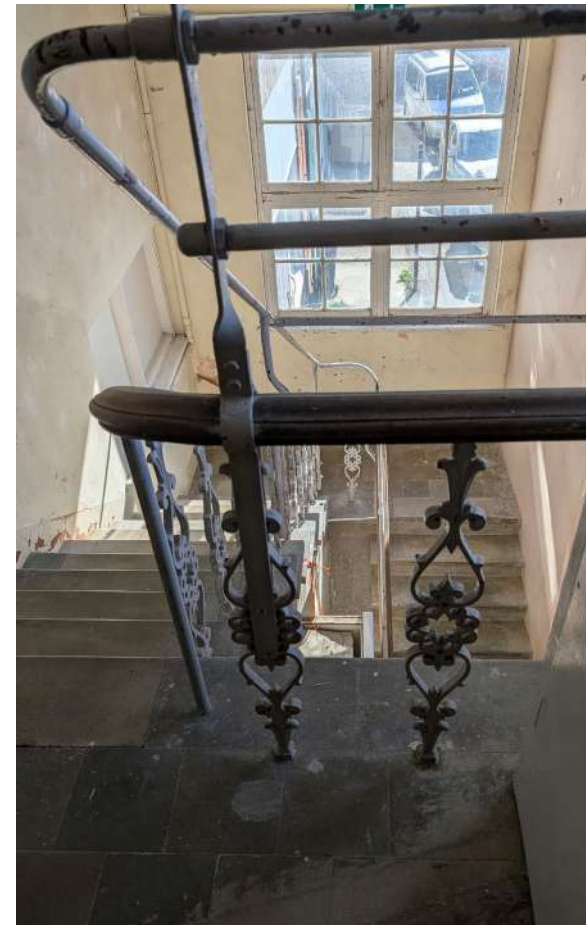


Fig. 76: Photo of existing stairwell from New Road

