

12th February 2026

OUTLINE RESTORATION PROPOSALS, SPECIFICATIONS AND METHOD STATEMENTS

for

Thatch Cottage Pond Lane, Durrington, West Sussex, BN13 2RH

This document supports Planning Permission and Listed Building Consent Applications for *Restoration of an existing fire damaged Listed building. Erection of 2 no. semi-detached dwellings to the west side of the existing property. Provision of car parking via an existing access on land to the east of the existing property.*

These proposals are informed by a site visit and assessment undertaken by Historic Building Conservation specialist Ben Kirk MSc IHBC, of Manorwood, and Structural Engineer David Barnard IEng IMIStructE, of vkhp-consulting ltd, on 28th January 2026, and the resultant 'Report on Fire Damaged Cottage', which should be read in conjunction with this document. In summary, the Structural Report concluded that the external walls, the fireplace and a limited number of internal oak elements can be salvaged and reused, provided that all vegetation in and around the building is removed to prevent further damage, and the walls are protected from further decay while broader approvals are being considered.

The following proposals have been put forward by Conservation Architect Hannah Reynolds MA MArch AABC RIBA, following detailed review of the buildings current condition and the above-mentioned structural condition report, alongside pre-fire record photographs.

A conservation approach is to be taken to extent of all necessary repairs to historic fabric and to the removal of existing fabric, as needed to facilitate viable reuse of the historic building; that of as little as possible, as much as necessary. The approach taken is to retain the maximum amount of original fabric as possible and replace only where strictly necessary. When replacement is the only suitable option, it will be on a like-for-like basis following the vernacular style and materials of the original building.

The quality and level of works carried out will dictate the success of the intervention and the longevity of the repairs. To this end, minimal necessary repairs are to be carried out by skilled professionals in each trade with demonstrable experience of historic buildings.

The works are proposed to be undertaken in two phases:

- 1) Urgently necessary structural stabilisation and site clearance work, needed to secure the existing structure and allow final review of condition and confirmation of extent of repair or replacement needed.
- 2) Repair of the existing structure that is able to be retained, and reinstatement of new structures and finishes, to match pre-fire appearance and condition, to ensure the house it is habitable once again and return it to viable use as a residential dwelling.

Repairs to existing fabric will be as noted on the outline repair mark-up drawings provided herein, the extent is to be confirmed on completion of phase 1). Any works required beyond this, that become evident following strip out works, will be subject to further agreement with Manorwood and Conservation Officer.

The longevity of the repairs and the future levels of decay of the building depend largely on the ongoing maintenance of the building. Once completed the building should be maintained with any failing roof coverings repaired or replaced, gutters maintained, and any future failures assessed and addressed using the same approach as detailed above. Any future repairs should be carried out using appropriate materials and methods set out herein.

PHASE 1: URGENTLY NECESSARY STRUCTURAL STABILISATION AND SITE CLEARANCE WORK

- a) **Remove vegetation growth around the site and embedded in perimeter walls.** To be carefully removed including root systems by hand, being particularly careful where it is causing structural damage and spalling of the walls, to minimise unnecessary disruption of historic masonry walls.
- b) **Structural stabilisation of chimney to south gable. See Figure 1:** Brick chimney to be carefully dismantled, by hand, to top of gable wall height. Prise existing bricks from their bedding, working from the top down, carting bricks away regularly as not to overload the scaffold, MEWP or other access equipment deemed safe and necessary to undertake the works. Clean and stack bricks on a labelled pallet(s) for reuse in rebuilding chimney. Store safely in site container until required. Provide adequate support to all adjoining and abutting structures during the work. The masonry of the fireplace itself below first floor level also appears sound and should be left in place.



Figure 1. South gable chimney – extent to be dismantled

c) **Strip out to allow safe access for confirmation of repair works by Architect and Structural Engineer**

- **Remove of fallen fire damaged thatch and roof structure.** Carefully remove all fallen thatch, associated timber structure and netting. Cart away from site.
- **Take down all remaining masonry structures above wall plate.** Carefully dismantle by hand to wall plate height. Clean and stack bricks, blocks and flint on a labelled pallet(s) for reuse in rebuilding chimney. Store safely in site container until required. Provide adequate support to all adjoining and abutting structures during the work.
- **Take down all remaining timber structures above wall plate, including first floor timbers and wall plates themselves. See Figures 2, 3 and 4.** To be carefully dismantled, by hand or using appropriate access and lifting equipment to wall plate height. Store timber elements deemed suitable for reuse safely in site container with adequate ventilation to allow drying and prevent onset of mould or rot, until required. Provide adequate support to all adjoining and abutting structures during the work.
 - The main spine oak beam that supports the existing first floor joists has structurally failed under the weight of saturated thatch and is not salvageable, nor are many of the accompanying floor joists, these should be removed and set aside so as to inform the size and section of their replacements.
 - The oak cross beam that spans onto the internal post has also split along its length and is not in a re-usable condition, this should be removed and set aside so as to inform the size and section of its replacement.
 - The oak bressummer over the fireplace/bread oven should remain in-situ.
 - The main support post that supports the failed spine beam and failed cross beam can be reused, and some of the first-floor joists that span from the northern gable across the entrance lobby, could also potentially be salvaged and reused further to closer inspection and/or drying out.
- **Clear debris and collapsed structures from ground floor.** Install props and braces to beams/joists as required. Set aside historic bricks, flints, timbers, other salvageable elements for potential re-use.
- **Strip out staircase, fitted/built-in joinery, windows and doors and frames.** On the first-floor northern gable window there are some painted timber shutters which could potentially be salvaged and reused, carefully remove and retain for repair. All internal fixtures and fittings such as light fittings, kitchen fittings, etc are beyond reuse. All windows and framing to all windows are also beyond reasonable repair/reuse. Carefully remove or dismantle, by hand, and carted away from site. On the first-floor northern gable window there are some painted timber shutters, which could potentially be salvaged and reused.
- **Strip out kitchen and shower room cabinetry, appliances, fittings, tiling etc., all existing electrical consumer units, cabling, back boxes and face plates, all water supply pipework back to incoming main and all soil waste pipework.** Carefully remove or dismantle, by hand, and carted away from site.
- **Strip out loose and inappropriate finishes to retained masonry walls.** Loose surface finishes (interior plaster and exterior paint) should be carefully removed by hand. All non-permeable painted finishes should be carefully stripped using DOFF system.
- **Cleaning retained brickwork walls and timber elements.** Cleaning of existing surfaces will be limited to a light hoovering with soft bristled head attachment to remove worst of dust build up. Do not damage any retained historic surface finishes or timber elements.
- **Remove demolition waste and vegetation as required to clear construction site.** Cart away from site.



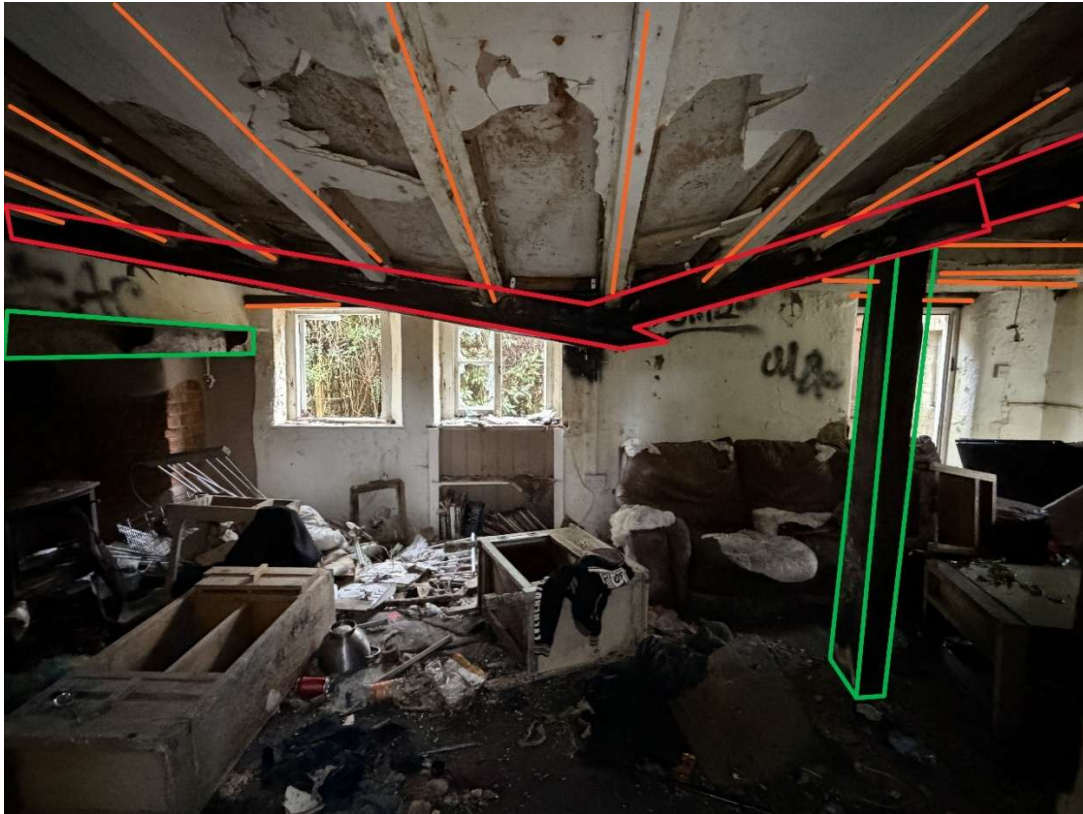


Figure 2. Internal ground floor structural timber elements to retain (green), review/repair (orange) or replace (red) (Jan '26 images).



Figure 3. Internal ground floor structural timber elements to retain (green), review/repair (orange) or replace (red) (Jan '26 images).



- d) **Further structural review when safe access is afforded:** Notify Architect and Structural Engineer at least two weeks in advance of cleared site for safe access, to allow visit to be arranged for review and confirmation of extent of repair works by Architect and Structural Engineer. In particular, the extent of existing destabilisation to ‘bungaroosh’ walls.
- e) **Repair of masonry walls and application of mortar topping to exposed wall tops:** The external walls, which are loosely laid flints bonded with lime mortar (bungaroosh), are susceptible to water ingress in its exposed state, which risks further destabilisation while approvals for reinstatement are being considered and granted. Thus, it is proposed to carefully, by hand, repair the head of all external masonry walls to a sound and level bed at wall plate height, then and apply a ‘hard capping’ of site prepared hot mixed lime mortar, as per the mortar specification and method statements provided below. See Figures 4 -7.

PHASE 2: OUTLINE - REPAIR OF EXISTING STRUCTURE AND REINSTATEMENT OF NEW STRUCTURES AND FINISHES TO MATCH PRE-FIRE APPEARANCE AND CONDITION

- f) **Masonry repairs – brick and stonework:**
- **Repair and repoint fire/water damaged walls:**
 - Repair brick/block with flint facing to match prior to demolition, bed and point in site prepared hot mixed lime mortar as specification below. Reuse brick & flint where possible. Make up shortfall with replacement flint to match existing, as specification below.
 - **Rebuilding chimney:**
 - Rebuild chimney stack to match that prior to demolition, on site prepared hot mixed lime mortar as specification below. Re-using brick and pots where possible, make up shortfall with replacement bricks to match existing, as specification below.
 - The chimney, including the pot, should end at least 1.8m above the height of the ridge to meet the requirements of the ‘Dorset model’ roof. Due to the risk of condensation forming as hot gases cool, chimney pots should be limited to a maximum height of 600mm
 - **Re-building first floor gable wall:**
 - Re-build first floor east end gable and brick/block with flint facing to match prior to demolition, in site prepared hot mixed lime mortar as specification below. Reuse brick & flint where possible. Make up shortfall with replacement flint to match existing, as specification below.

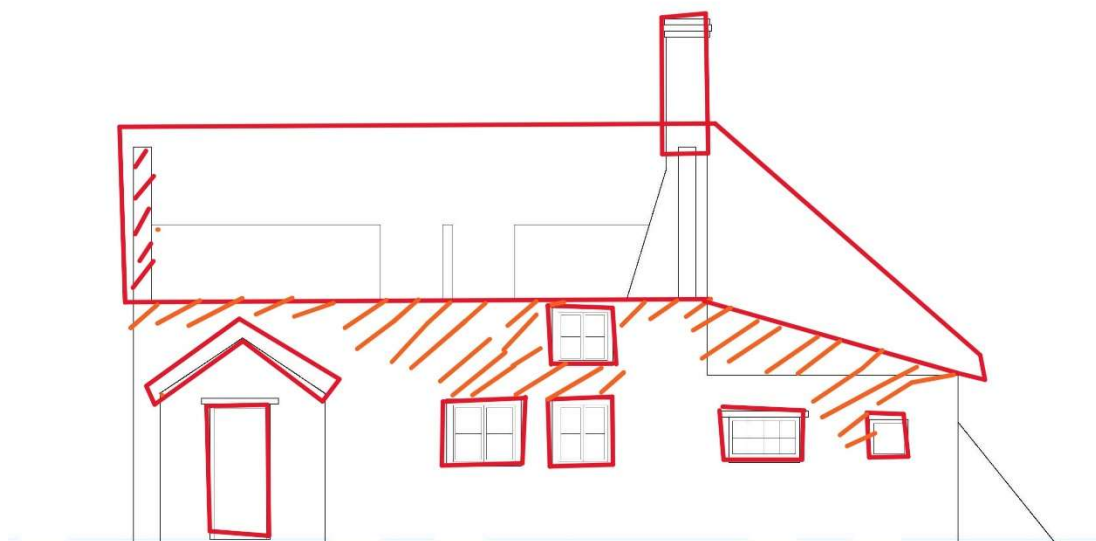


Figure 4. Existing North Elevation – repair (orange) or reinstate to replicate pre-fire (red)





Figure 5. Existing East & West Elevations – repair (orange) or reinstate to replicate pre-fire (red)

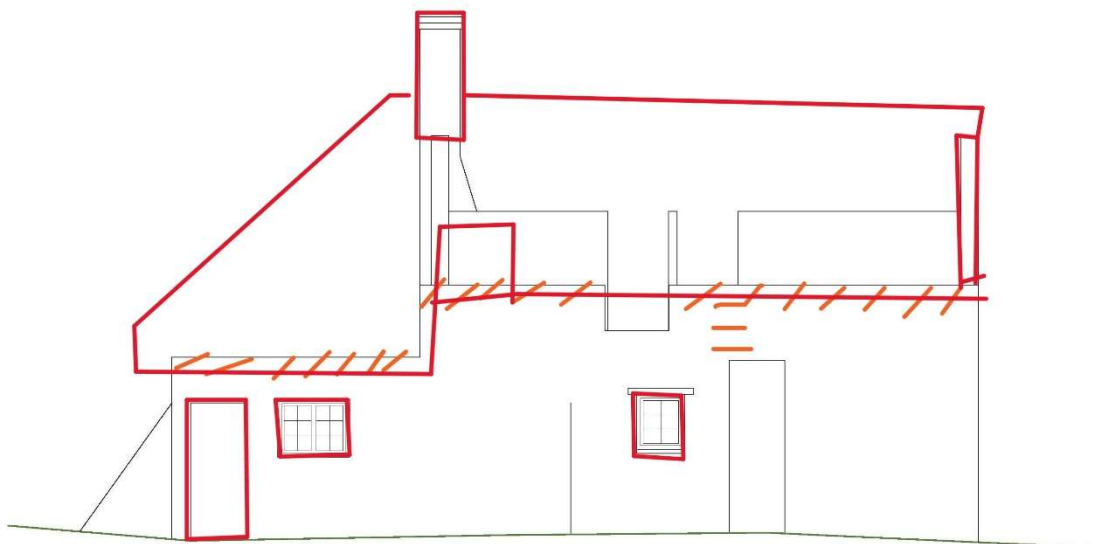


Figure 6. Existing South Elevation – repair (orange) or reinstate to replicate pre-fire (red)

- **Preparation - repointing:** Existing mortar must be raked out by hand and dust removed to a depth equal to twice the width of the joint and not less than 25mm, whichever is greater. Sound mortars should be left. Where it is desirable to remove cementitious pointing, trials are to be carried out in discrete locations to determine the most appropriate method of removal and to limit damage caused to existing work.
- **Preparation - piecing in new masonry:** masonry units decayed to a depth of greater than half their depth will be carefully, by hand, loosened from their setting by raking out surrounding mortar and removed entirely for replacement with a full depth new brick to match. Masonry units decayed more than 25mm but less than half their depth will be carefully, by hand, chiselled back to a sound face, to a minimum of 30mm from the facing line to allow piecing in of a new 25mm slip with bedding behind. Where full masonry units are already absent, new will be pieced in to consolidate walling.
- **Preparation - generally:** Loose existing mortar must be raked out by hand and dust. No cleaning agents or fungicides are to be used either before or after repair works. Assess the moisture content of the background.

- **Workmanship:**
 - Dry weather: wet masonry and adjoining surfaces the minimum necessary to prevent mortar drying out prematurely. Any fractures to pointing due to premature drying and shrinking are to be cut out and remade.
 - Wet weather: protect freshly laid work during interruption through rain and at the completion of each day's work.
 - Cold weather: no work is to be carried out where it will be exposed to frost or freezing conditions. Do not use frozen materials or lay on frozen surfaces. Do not lay masonry when at or below 5°C and falling or below 3°C and rising.
 - Existing work: arrange courses to line up with existing work where possible. Lay masonry on a full bed of mortar and fill all joints. Make bed and vertical joints of equal and consistent thickness.
 - Bond: where repairs are carried out by partial rebuilding, the bond is to match the existing bond of the wall to be repaired.
 - Joints: joints which are not to be visible in the finished work to be struck off with the trowel as the work proceeds. Visible joints are to be finished to match the surrounding existing brickwork.
 - Protection and after care: Allow for suitable weather protection during the works, and for a suitable period of after care, to ensure complete carbonation. Protect from Dry and windy, hot, wet or frost. sun, heat or frost.
- **Replacement bricks to match existing:**
 - Manufacturer: Lambs, Nyewood Court, Billingshurst, West Sussex, RH14 9RZ
 - Brick: Handmade red rubber range multi facings.
 - Colour: dark red/orange multi **To be checked on site.**
 - Size: imperial size 9" x 4 1/4" x 2 5/8" (229x110x68mm) **To be checked on site.**
 - Compressible strength - 21.5N/mm²
 - Water absorption - 21%
 - Finish: to match existing. See bedding and pointing specification below.
 - Sample to be sourced to confirm accuracy of match to existing in size, colour and texture prior to order.
- **Replacement flint to match existing:**
 - Manufacturer: Kingley Vale lime and Flint, Unit 1, Upton Farm, Chilgrove, Chichester, PO18 9JA
 - Flints: Field Flint unknapped / field flint semi knapped / Gallets – as necessary to match existing.
 - Size: to match the size of existing flint work – Sample be checked on site prior to ordering.
 - Finish: to match existing flint work.
 - Mortar: See bedding and pointing specification.
 - Sample: to be sourced to confirm accuracy of match to existing in size, colour and texture prior to ordering.
- **Bedding & Pointing Mortar:** Site prepared hot mixed lime mortar:
(N.B. Provisional specification, subject to confirmation upon receipt of existing mortar sampling and analysis results.)
 - Mix Ratio: 1:3 lime to aggregate by volume overall, made up of:
 - 1: non-hydraulic lime (Quick Lime)
 - 2.5: Sand by volume,
 - 0.5 crushed stone by volume,
 - plus 10% by volume of course stuff pozzolan
 - Lime: non-hydraulic lime (Quick Lime) to comply with BS 890. To be lump or kibbled pure "fat" lime. Hydrated lime is not to be used.
 - Sand: fine washed local yellow flint sand. Comply with BS 13139 Aggregates for mortar. To be well graded and free of clay, silt, organic matter and excessive fines. Blending sands and aggregates from different sources may be necessary to achieve the desired colour/match.
 - Crushed Stone: course well-graded porous crushed local limestone, not stone dust.
 - Pozzolan: PFA or Trass
 - Water: water shall be clean and fresh, free from organic and harmful matter in such quantities as would adversely affect the properties of the mortar.
 - Admixtures: none.
 - Gauging: no gauging with gypsum plaster or cement. With pozzolanic materials or local sand / stone dust for colour and texture match where expressly agreed.
 - Colour, texture and strength: the mortar shall be a little softer and more porous than the masonry concerned. New mortar, when dried out, will match the original colour and texture of the existing mortar. Final mix to be trialled by production of biscuit samples and agreed prior to works commencing. Allow for crushing stone and other aggregates and blending and sieving sands and crushed stone aggregate from different sources, as necessary, to achieve appropriate grading, colour and texture.
 - Pointing finish: to match existing
 - Hot Mixing: non-hydraulic quick lime to be slaked in well mixed damp aggregate [sand/crush stone/pozzolan, as specified above] on site to a ratio of 1:3 by volume. Cover with sand and



allow to slake fully (1-2 hours). Pass dry sand and slaked lime through a sieve, of suitable grade for the joints to be pointed, to remove larger unslaked lime pieces. While mix is still hot, slowly add water until the mix has been brought to required mortar consistency. The addition of water must be kept to the minimum. Additional workability is to be achieved by increasing the mixing time not by adding water.

- Application: Mortar for pointing should be kept stiff and dry to compress it into the joint without smearing. Do not overwork mortar. The mortar is to be pressed into the joint and firmly ironed in with the maximum possible pressure and minimum of over-working. Take care not to get mortar on the face of the brickwork. Bring out mortar joints in layers of up to 10 - 15mm thick to allow carbonation, using a pointing or finger trowel. Leave each layer until set but not dried out - the mortar should be 'too hard to dent with a knuckle yet soft enough to mark with a thumbnail.' Completed work should be left to 'stiffen up' for up to 24 hours before brushing with a churn brush, to achieve desired finish.

g) Timber Repairs:

• **Repairs generally:**

- New timber should be selected to match the species it is to replace or repair.
- Timber should be graded THA/TH1 depending on its section. The final piece of timber to be used should meet the relevant strength grade. For example, a patch may be cut from a graded larger piece of timber, and the position, type and proportional size of knots may change once the smaller timber is cut.
- The type of conversion (e.g. boxed heart, halved or quartered) should match the timber which it is to repair or replace.
- Timber for repairs should be air dried to a moisture content of approximately 15% or for repairs ideally as closer moisture content to the "host" timber as possible. This will avoid differential movement of the timbers resulting in joints opening and gaps appearing. The moisture content can be determined with an oven dry test for large timbers but for small repairs such as patches can be checked with a moisture meter.
- Grain direction for repairs should match the "host" timber as closely as possible as should ideally checks in the timbers surface.
- Timbers should be ordered oversize and finished on the workbench with a hand plane to reduce to the correct scantling and provide a suitable finish, visible saw, axe or adze marks should be avoided as should the use of machine finishing. The artificial ageing of the surface should not be attempted.
- Pegs for mortice and tenon joints should be octagonal and tapering, sized to match the original, shaped on a shaving horse from cleft oak blanks and left to dry before use.
- Pegs must be driven from the upper face side of the frame.
- Where mechanical fixings are used to secure face patches or scarf repairs these should be recessed and capped with a cross-grain pellet cut from the same stock as the repair. These should be cut flush with a sharp chisel to minimise their visual impact. Faux pegs should not be used to cover fixings where they do not relate to the original pegging arrangement of the frame.
- Where the use of epoxy resins is deemed appropriate to be used for adhering face patches a WEST 105 system should be used, mixed in accordance with the manufacturer's instructions.
- Resin should never be used on the face of a timber or in joints where it has the potential to trap moisture.
- Glues and resins should be used only to adhere repairs to original timbers along their length to maintain rigidity but should never be used in the original joints of the frames where it is vital that the joints have a degree of movement.

It should be noted that the extent of decay is often only apparent when works start and one close inspection allows and, in some cases, when timbers are removed. As such it is anticipated that further repairs may be required that are not currently apparent. Where further repairs are discovered once works are on site, they should be reported to Manorwood. Repairs should proceed following the same approach and ethos as above and where extensive additional repairs or wholesale replacement of timbers becomes necessary this should be reported to and agreed with the Local Planning Authority prior to works proceeding.



- **Internal structural timber elements:**

- Reconstruct first floor structure, refitting dismantled timbers in original locations and repairing beams/joists where required, see Figures 2 and 3.
- Form new softwood first-floor timber stud partitions from floor to underside of new roof structure arrangement, with mineral wool acoustic batts between studwork. Plasterboard and skim new internal partitions. Apply face fixed half round timbers to both sides of new partition between stairwell and bedroom 1, at spacing to emulate that shown in record photographs. See Figures 7 and 8.



Figure 7 and 8 Record photographs of partition wall to stairwell and bedroom 1.

- Fit new staircase, fitted/built-in joinery, windows, doors, frames and skirtings to match those prior to fire, repairing and re-using historic fabric where possible.
 - **Timber windows:**
 - The existing windows are beyond repair and are proposed to be replaced like-for-like. Details TBA
 - **Timber shutters:**
 - On the first-floor northern gable window there are some painted timber shutters which can potentially be salvaged and reused, as such they are proposed to be subject to minor necessary repair and redecoration.
 - The louvres will be carefully removed from their setting to facilitate conservative repair and refurbishment, stacking with soft packing for safe transportation if required.
 - Minimal necessary repair to or replacement of timbers is to be undertaken. Decayed timber is to be removed as minimal back to sound timber with which to make a new joint and careful piecing in of new seasoned hardwood undertaken. Repairs will take the format of 'typical timber-to-timber repairs' set out in Section 3 Repairing windows of Historic England's *'Traditional Windows Their Care, Repair and Upgrading'*.
 - On completion of the repairs, the shutters are to be carefully transported back to site, reinserted and redecorated.
- h) Roof works:**
- **New thatch roof and timber structure in accordance with the 'Dorset model' to include insulation and fireboard.**
 - Pitch new roof structure to emulate that prior to fire in treated softwood. New wall plates should be laid directly onto previously lime mortared wall head.
 - Supply and fit new 50 x 25 treated batten open frame grid, laid over Dorset Model fire rated boards [minimum 30-minute fire barrier (integrity and insulation) - TAS100 Thatch Fireboards or equivalent] above new rafter line. The use of intumescent sealant and jointing tape is required to help seal the fire barrier along all its junctions.



- Supply and fit new water reed thatch to minimum 500mm thickness to all roof slopes. All ridge, gable, eaves, hip and valley details to match those prior to fire. See Figure 9.
- Supply and fit new 100mm insulation batts between rafters (TAS Thatchbatts® or equivalent)
- Supply and fit new continuous vapour control layer (with low to medium vapour resistance, or variable vapour control) below rafter line, taped at all joints over rafters and turned down and taped to walls plates and all gable abutments.
- Supply and fit new counter battens to inner face to create service void and prevent puncturing of vapour control layer.
- Plasterboard and skim new ceiling.
- **Close boarded deck remaining on the front porch:** reinstate 2m², like-for-like.
- **Lead covering and weathering's:**
 - Carefully, by hand, strip existing lead abutment/cover/chimney flashings and weathering's, as necessary to facilitate repairs.
 - Post-repair of existing roof timber structure and re-laying of finish, install new milled rolled lead sheet abutment/cover/chimney flashings and weathering's, as necessary, installed to LSTA 'Rolled Lead Sheet – The Complete Manual' details and recommendations ([Rolled Lead Sheet – The Complete Manual - Lead Sheet Training Academy](#)).
- **Rainwater goods:**
 - None. Prepare external ground surfaces to prevent rain water back-splash or run back in accordance with Historic England's guidance and advice: [Buildings Without Rainwater Goods | Historic England](#)



Figure 9. Record photographs of roof detailing pre-fire (Nov '22 sales image).

i) **Decorations:**

- **Paint Specification Masonry external walls:** Refinish all external previously painted and new masonry surfaces with Keim mineral paint. Paint all internal lime plastered masonry surfaces with 2-3 coats Keim mineral paint.
 - **Substrate:** external masonry wall finishes.
 - **Manufacturer:** KEIM Mineral Paints Ltd, Santok Building, Deer Park Way, Donnington Wood, Telford, TF2 7NA, 01952 231250 / sales@keimpaints.co.uk
 - **Product:** KEIM Granital. Client to choose colour(s).
 - **Workmanship:** Application and Instructions - Keim Paint Shop

- **Preparation:** Prepare as manufacturers recommendations. All areas to be decorated should be free from all surface contaminants, sound, dry and dust free. Wash all surfaces with clean cold water to remove dust and dirt. All loose, flaking and unstable material must be identified and then thoroughly removed using stiff brushes and broad bladed scrapers to get back to a sound edge; these edges should then be feathered in. Ensure that any paint materials left remaining and the underlying substrate is sound and adhering well. Sand gloss or shiny surfaces to create a key. Remove organic growth using a stiff brush. Caution should be taken with the removal of any pre-1960's coatings as they may contain lead. Any gloss or shiny surfaces should be thoroughly flatted down using sand or emery paper to create a good key. If the surfaces are being chemically stripped ensure that they are thoroughly washed down of all residues prior to decoration. Due to the potential for an osmotic drawing reaction, which can bring contaminants to the surface, the use of poultice-based strippers is not recommended if the surfaces are to be redecorated.
 - **Application:** Apply as manufacturers recommendations. Refer to KEIM application details for specific 'Granital Material Application' for substrate type and condition. Always maintain a wet edge and work materials out well. All materials must be thoroughly mixed beforehand, and periodically during decoration, using a mechanical mixer. If intermixing packs is necessary ensure that products are thoroughly mixed beforehand to ensure even pigment dispersion, prior to mixing. On newly rendered surfaces, a period of at least 15 days (30 days for lime render) should be allowed following rendering, prior to the application of KEIM Mineral Paints. Lime renders/repairs must be allowed a minimum of 28 days to dry and must have carbonated to a minimum depth of 2.5mm. Mineral paints are manufactured using natural components and as such can appear to dry out unevenly. This is the way in which they dry, once fully dried any unevenness will disappear. Do not over-roll or touch up the paint during the drying process as this may inadvertently create patching once dry. Mineral paints will lighten as they dry, with a corresponding increase in opacity. If airless spraying, contact KEIM for details of the appropriate nozzle sizes and optimum mesh and filter types.
 - **Protection and after care:** Materials must not be applied at air or surface temperatures below 5°C nor those in excess of 30°C. Materials must not be applied if it is raining or if there is an immediate likelihood of rain within 12 hours. KEIM Mineral Paints should be applied onto wind dry surfaces where the moisture content on or near the surface (to a depth of 5mm approximately) should be no greater than 18% by volume.
- **Internal Paint specification – Plasterboard:** Paint all internal plasterboard surfaces with 2-3 coats Dulux paint or similar, as manufacturers recommendations.
 - **Paint specification – internal painted woodwork:** Paint all internal fitted/built-in joinery, windows, doors, frames and skirtings with water-based primer, undercoat and topcoat. Dulux paint or similar, as manufacturers recommendations.
 - **Paint specification – external painted woodwork:** Paint all external previously painted and new woodwork with water-based primer, undercoat and topcoat. Dulux paint or similar, as manufacturers recommendations.
 - **Previously bare timber:** Clean, prepare and oil, all previously bare timber surfaces with Osmo Wood Wax Finish or similar, as manufacturers recommendations.
 - **Retained exposed masonry floors:** Clean floor to sitting room and quarry tiled floor to kitchen and rear lobby. Treat with Osmo Stone and Terracotta Oil or similar, as manufacturers recommendations.

