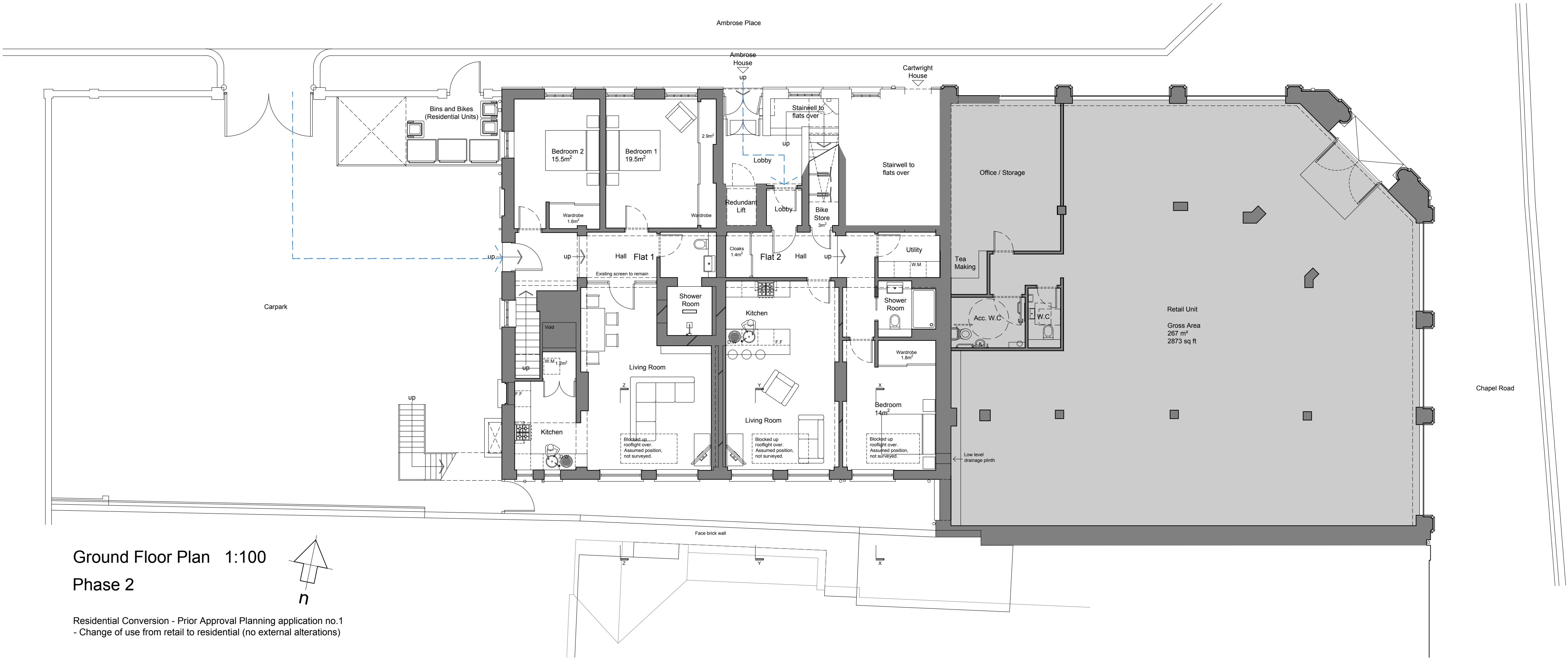




amendments				auth	chkd
rev	date	comment			
A	08.10.25	Address changed following planning department request		C.P	G.I



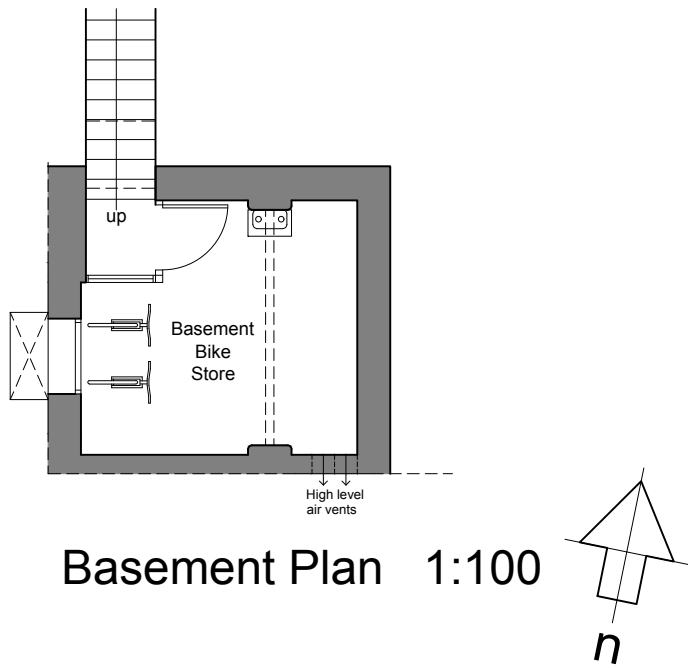
Ground Floor Plan 1:100
Phase 2

Residential Conversion - Prior Approval Planning application no.1
- Change of use from retail to residential (no external alterations)

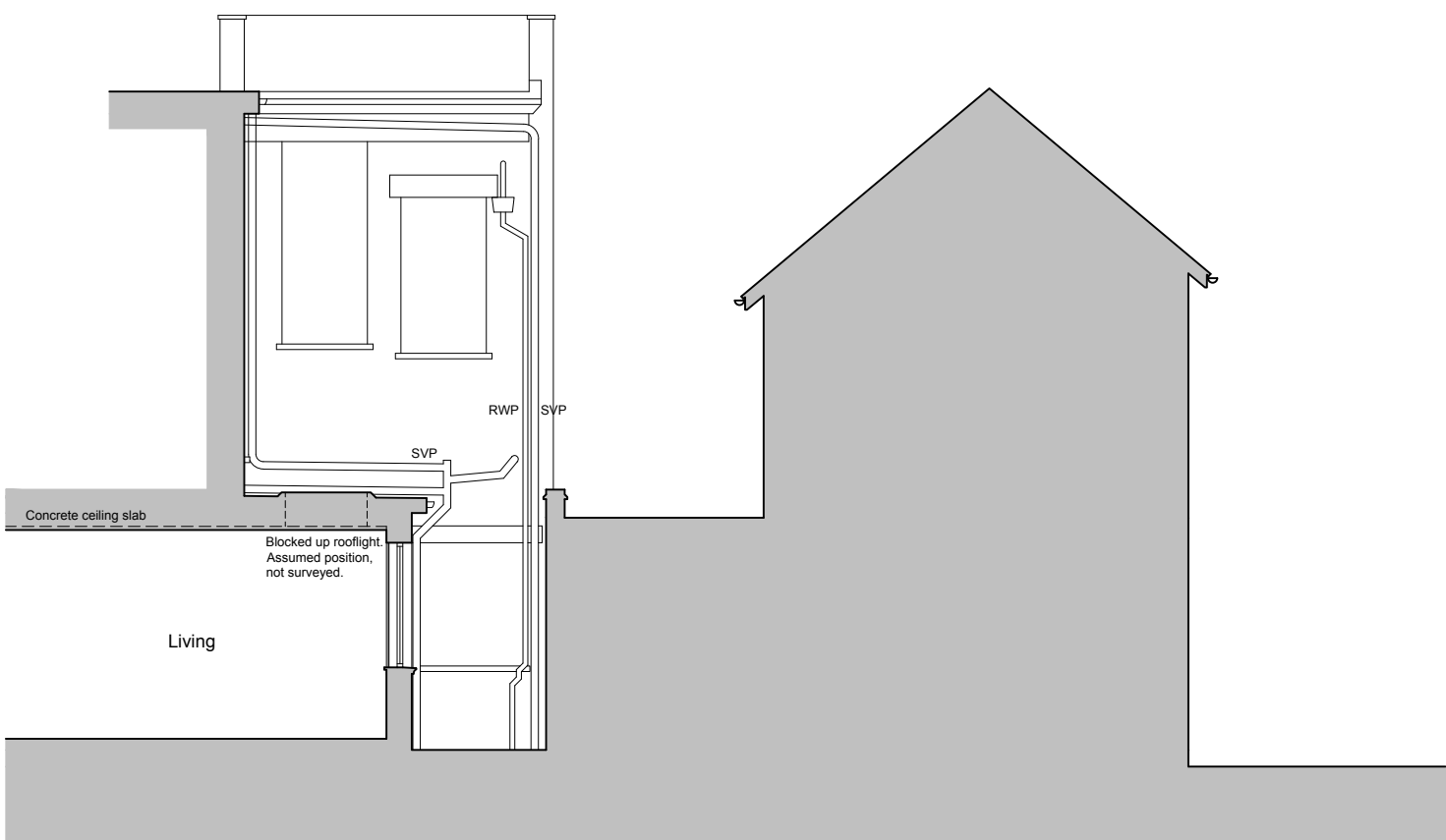
Schedule of residential accommodation :

Flat 1	Flat 2
Total GIA : 110m ²	Total GIA : 72m ²
Storage : 17m ²	Storage : 6.2m ²
Bedroom 1 : 19.5m ²	Bedroom : 14m ²
Bedroom 2 : 15.5m ²	

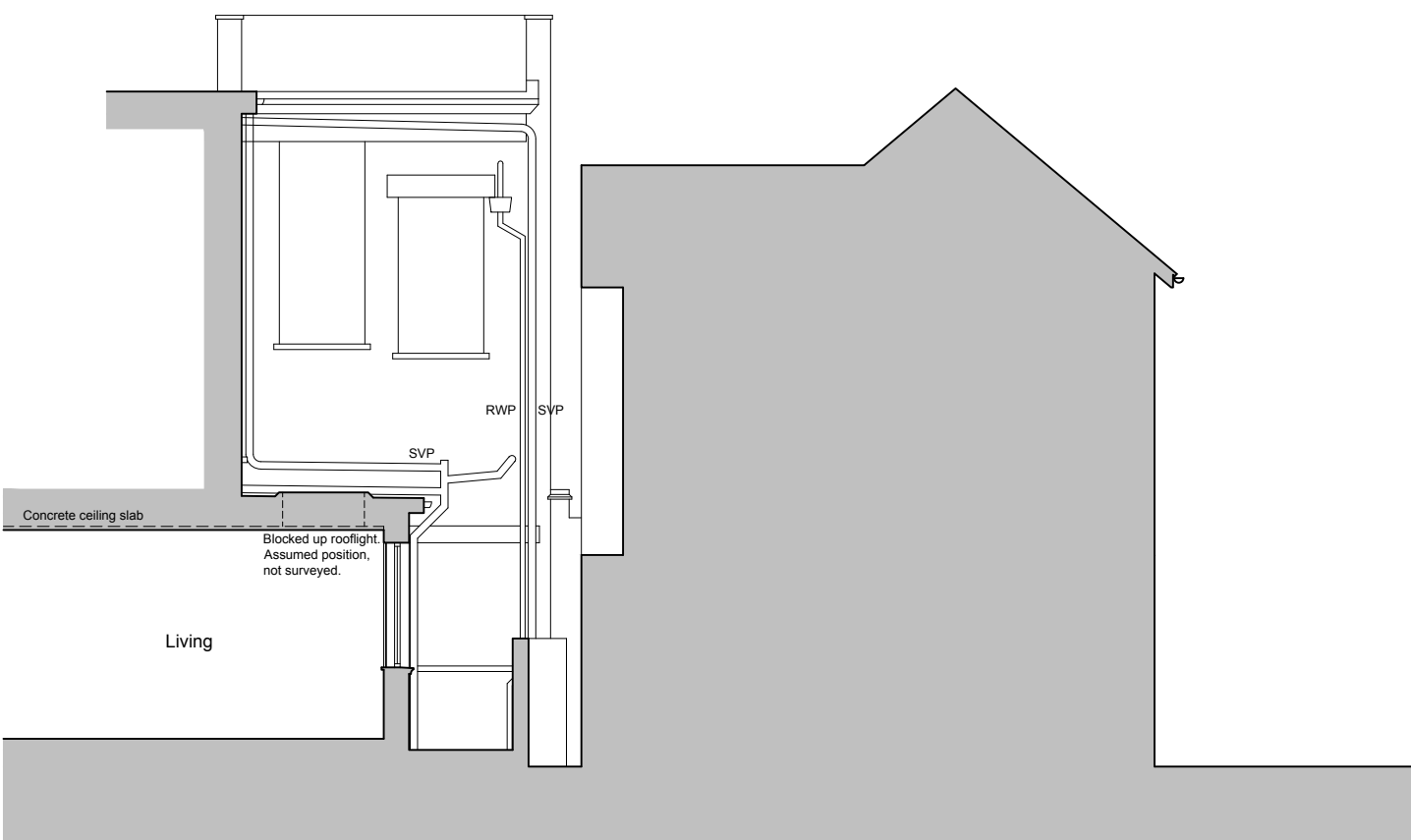
Note: Residential proposals exceed minimum space standards



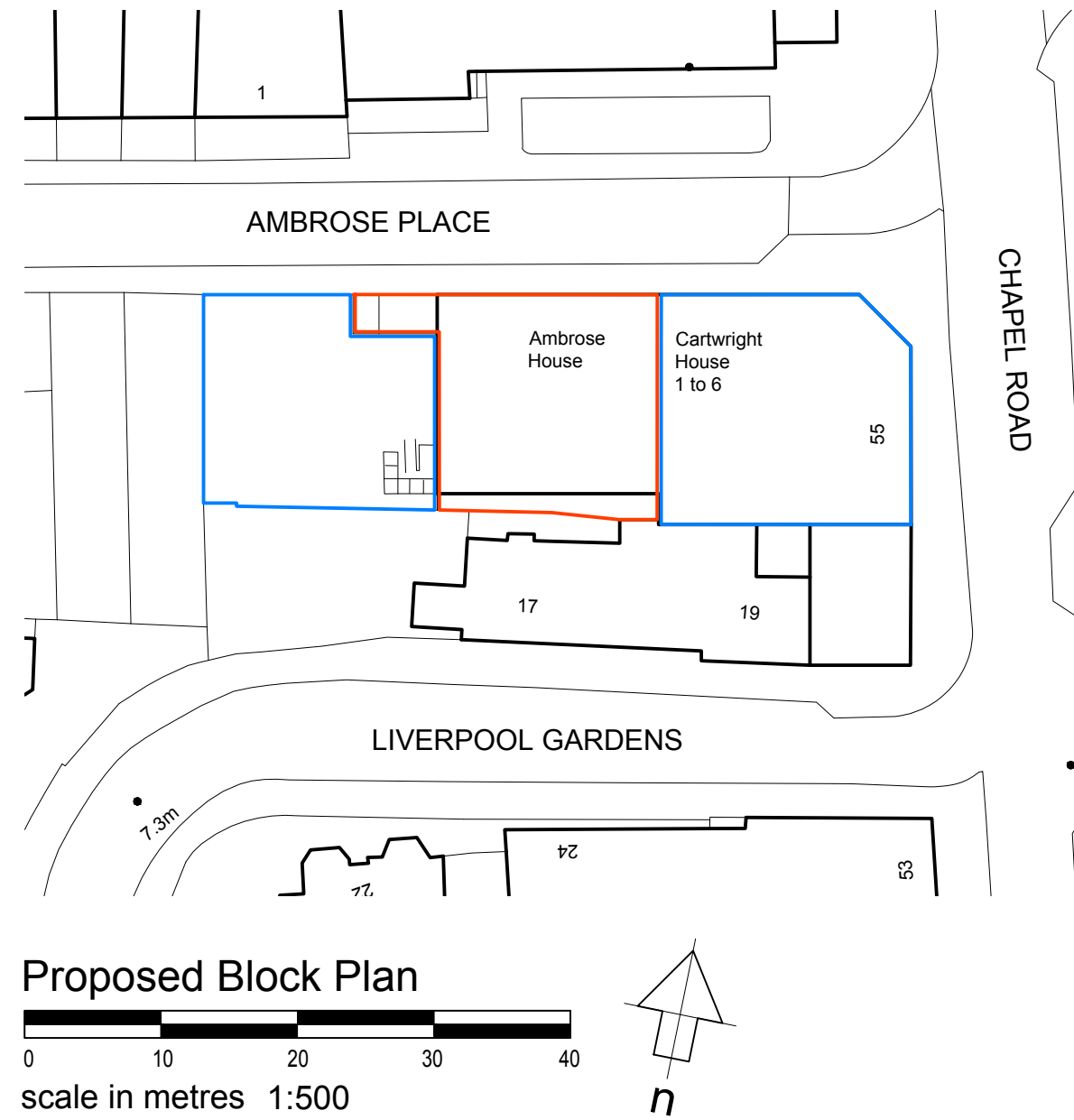
Basement Plan 1:100



Daylight Section X-X 1:100



Daylight Section Z-Z 1:100



Proposed Block Plan

scale in metres 1:500

client	drawing number	revision
Massey Group Ltd	0759.PL.001	A
project	drawing title	
Site of former office space, Ambrose House, Ambrose Place, Worthing	Proposed Plans & Sections Phase 2	
Level: Part Ground Floor	Planning	
drawn by	checked by	riba work stage
M.B	G.I	3
date	scale/original sheet size	
Sept, '25	1:100 @ A1	
<small>www.abir.co.uk studio@abirarchitects.co.uk Unit 1, Beta House, St John's Road, Hove, BN3 2FX, United Kingdom Hove +44 (0)1273 724 384 Company No 0687117 VAT No 971 4147 17</small>		
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