

Ground Floor Plan 1:100

Phase 2

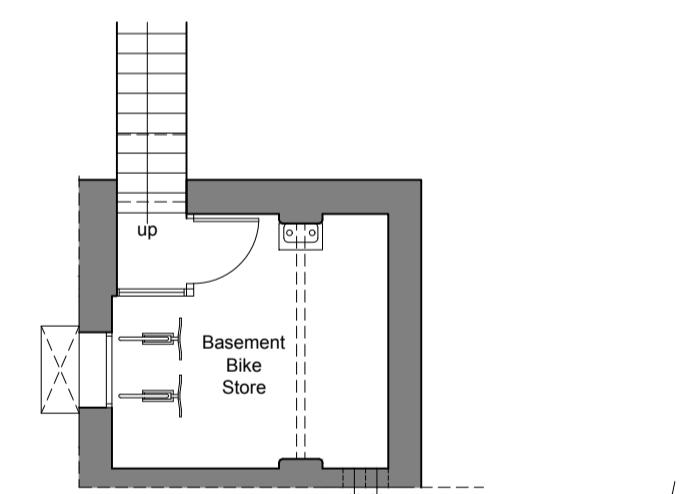
Residential Conversion - Prior Approval Planning application no.1
- Change of use from retail to residential (no external alterations)

Schedule of residential accommodation:

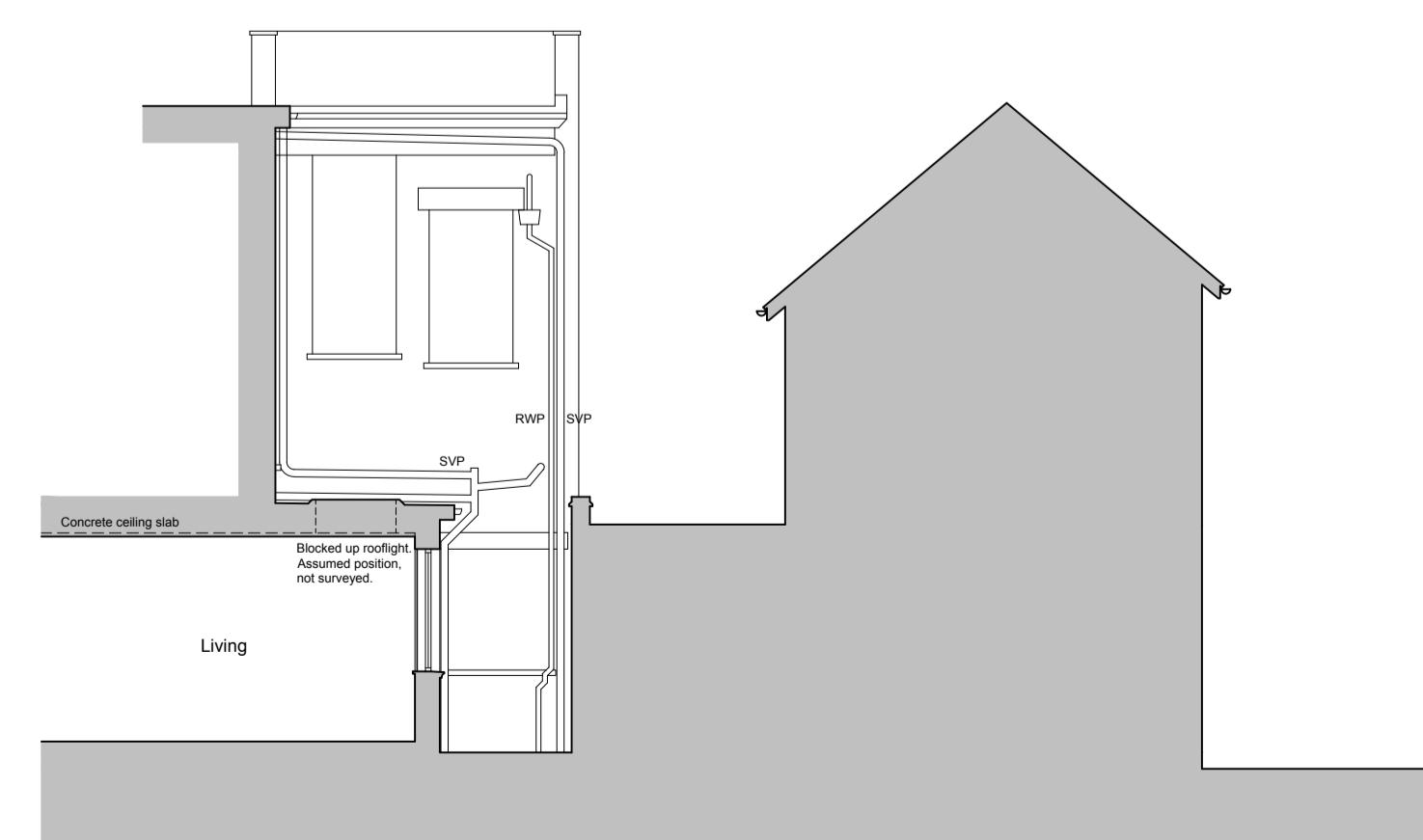
Flat 1 Total GIA : 110m²
Storage : 17m²
Bedroom 1 : 19.5m²
Bedroom 2 : 15.5m²

Flat 2 Total GIA : 72m²
Storage : 6.2m²
Bedroom : 14m²

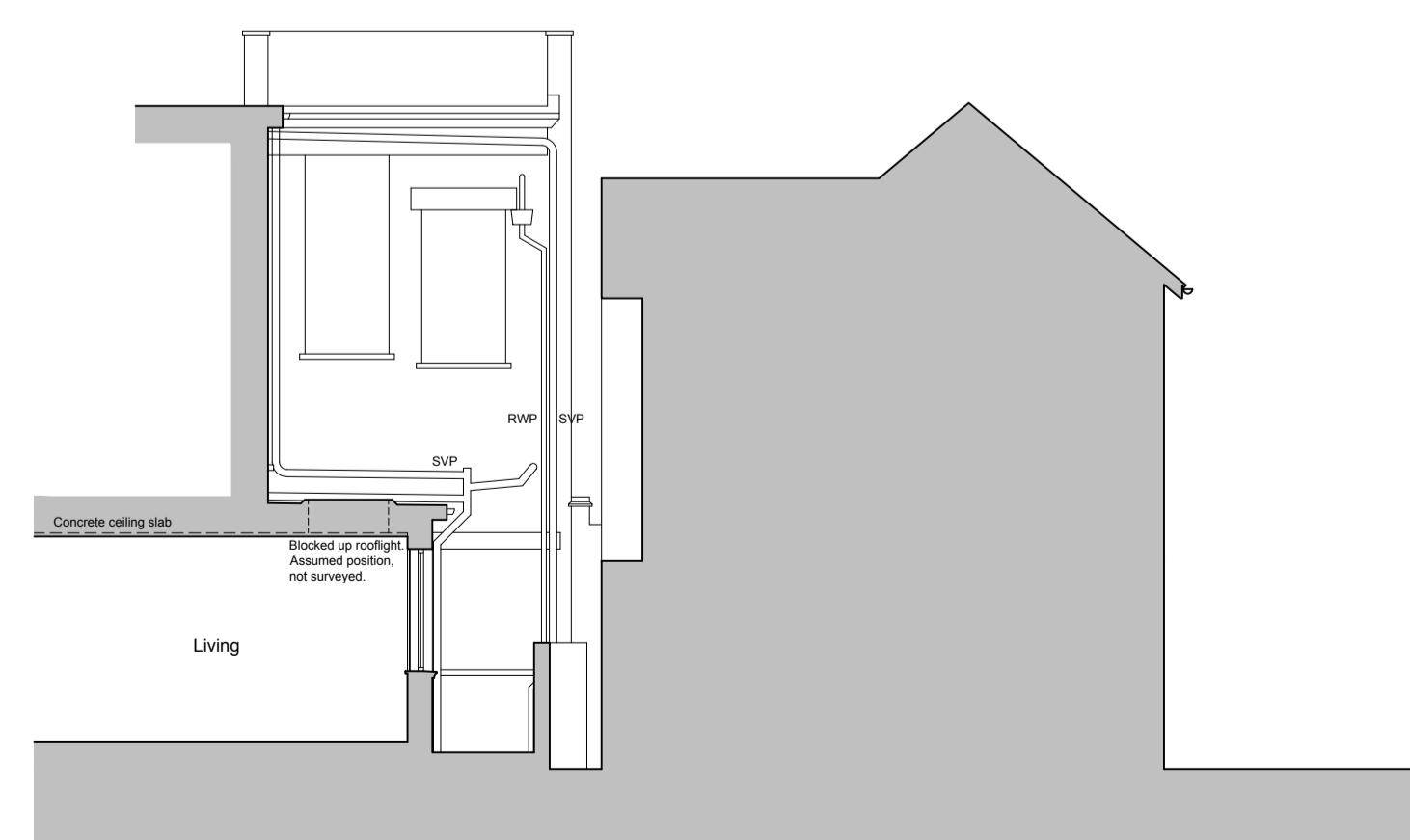
Note: Residential proposals exceed minimum space standards



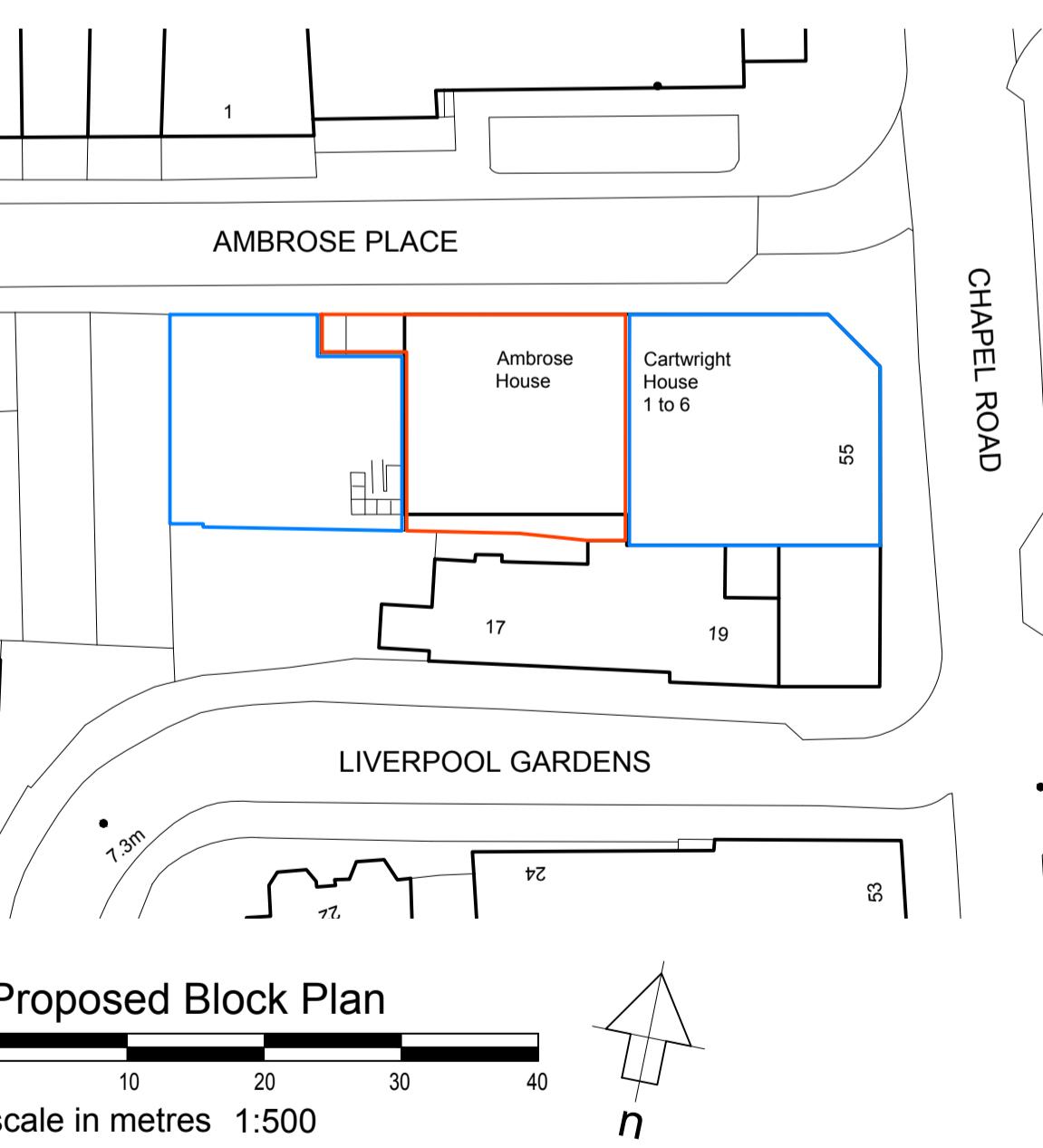
Basement Plan 1:100



Daylight Section X-X 1:100



Daylight Section Z-Z 1:100



Proposed Block Plan

scale in metres 1:500

client: Massey Group Ltd drawing number: 0759.PL.001 revision: A
project: Site of former office space, Ambrose House, Ambrose Place, Worthing Phase 2
Level: Part Ground Floor Planning
drawn by: M.B. checked by: G.I. riba work stage: 3 date: Sept. '25 scale/original sheet size: 1:100 @ A1

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