



RODWAY PLANNING  
CONSULTANCY LIMITED

## PLANNING STATEMENT

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### IN RELATION TO:

**‘Extensions and alterations to include a widening of the existing garage, provision of a link between the garage and the existing house, rear extensions (with balcony) and creation of first floor accommodation in a raised roof void, together with internal alterations of the ground floor. Improvement of existing lower ground floor area, and changes to rear terrace’.**

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**50 Brighton Road, Lancing, West Sussex  
BN15 8ET**

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**January 2026**



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## 1. INTRODUCTION

- 1.1 We are instructed by our clients, Messrs' Benjamin and David Pody to submit a Householder Planning Application for extensions and alterations to his existing property, No. 50 Brighton Road, Lancing. The works would include a widening of the existing garage, provision of a link between the garage and the existing house, rear extensions (with balcony) and creation of first floor accommodation in a raised roof void, together with internal alterations of the ground floor. In addition, improvements are proposed to the existing lower ground floor area, and changes to the rear terrace above.
- 1.2 The planning application is accompanied by a complete set of drawings, which have been prepared by Paul Hewett Architects.





## 2. SITE CONTEXT

- 2.1 The application site is situated to the south side of the A259 Brighton Road, backing onto the beach. To the west side of the plot is a public footpath, whilst to the immediate rear is a tarmac coastal path.

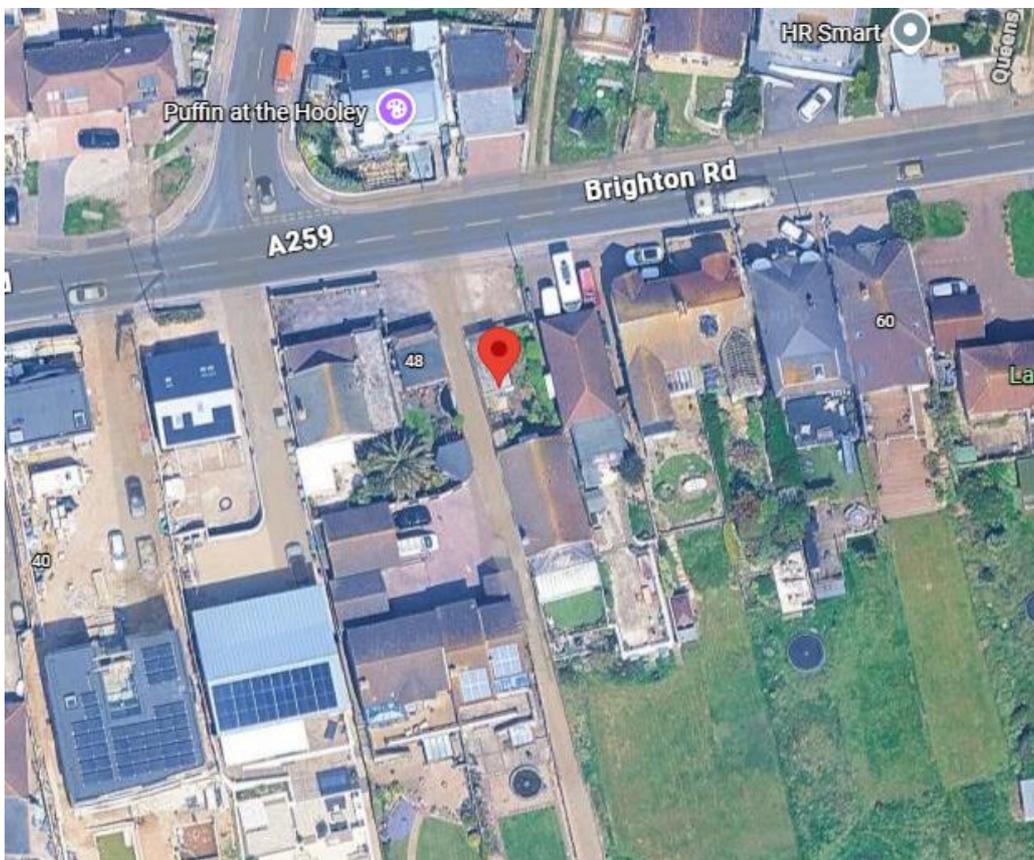


Fig 1. Aerial map showing the site and its surroundings (courtesy of Google Maps)

- 2.2 The application property comprises a bungalow, with a room in the roof. It has a flat roof single storey garage to the front, and a rear conservatory, leading to a large, raised terrace area with steps down to a long and narrow garden that adjoins the coastal path. There is additional parking at the front of the site, with access from Brighton Road.



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- 2.3 The neighbouring property to the east side, No. 52 Brighton Road is a hipped roof bungalow which is set forward from the application property. It will be evident from a site visit that this neighbouring property has been extended to its rear with additional outbuildings along the length of the mutual boundary with No 50. This neighbouring property also has a large rear raised terrace that projects beyond that of No. 50.



**Fig 2.** Photograph showing the street scene elevation (*courtesy of Google Maps*)

- 2.4 The surrounding area is residential in character, comprising a mixture of detached and semi-detached one, two and three storey dwellings. A number of properties have dormers in the roof. Properties are varied in their scale, form, design and use of materials. Plots also vary in size and shape.
- 2.5 In terms of planning designations and constraints, it is understood that the site lies within the defined built up area boundary where the principle of new development is generally accepted. To our knowledge, no other constraints or restrictions relate to the site.

### 3. RELEVANT PLANNING HISTORY & PRE-APPLICATION DISCUSSIONS

#### (i) Planning History – The Application Site

3.1 According to the Council’s records, the application property has the following planning history:

- **Planning ref: L/52/99/TP/17901/:** Conservatory at rear. Application Permitted 18<sup>th</sup> May 1999.

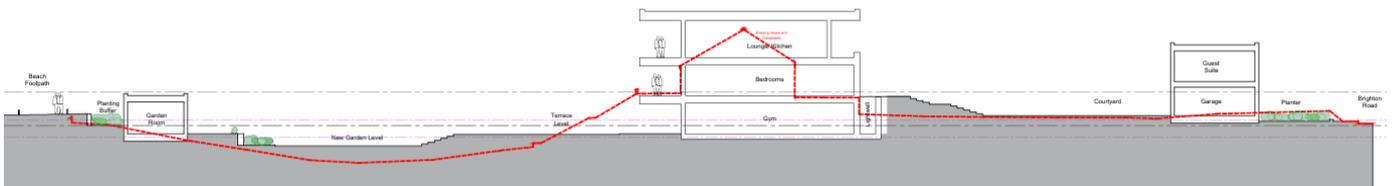
#### (ii) Planning History – Nearby Sites

3.2 It will be noted from a site view that many surrounding properties have had extensive works and alterations in recent years. A summary of the most recent and relevant planning approvals are set out in detail below, for information purposes: -

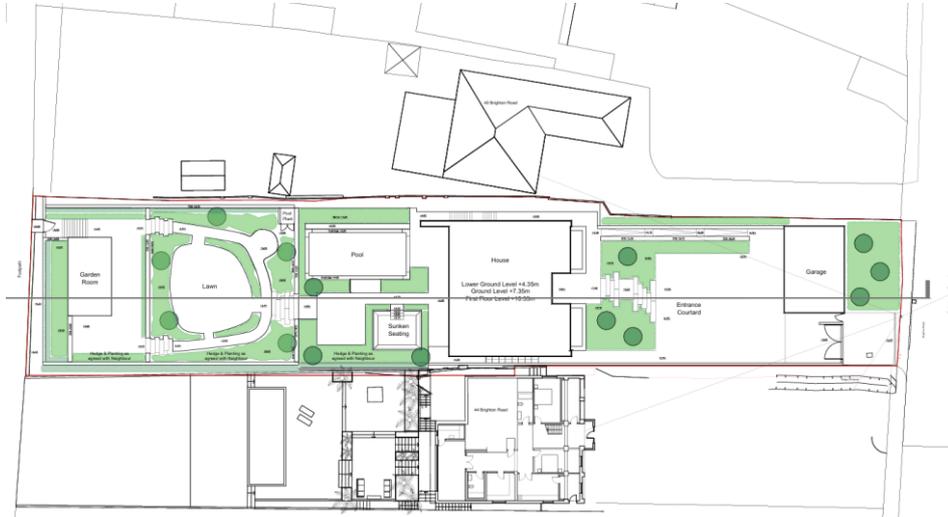
#### Former 42 Brighton Road, Lancing

**Planning ref: AWDM/0970/23/:** Demolition of existing dwelling and construction of a 4-bedroom detached dwelling over 3 levels with rear terrace and associated works. New outbuilding with raised terrace to the south. New detached garage with guest bedroom over and cycle store to the north. Application to Vary Condition 1 (approved plans) of previously approved AWDM/0923/21. Amendments: Increase in height of house by 0.85m, addition of lightwells to front. Increase in height to garage block by 0.37m; addition of cladding to garden room.

Application Permitted 4<sup>th</sup> September 2024.



**Fig 3. Existing and Proposed Section (ref: AWDM/0970/23)**

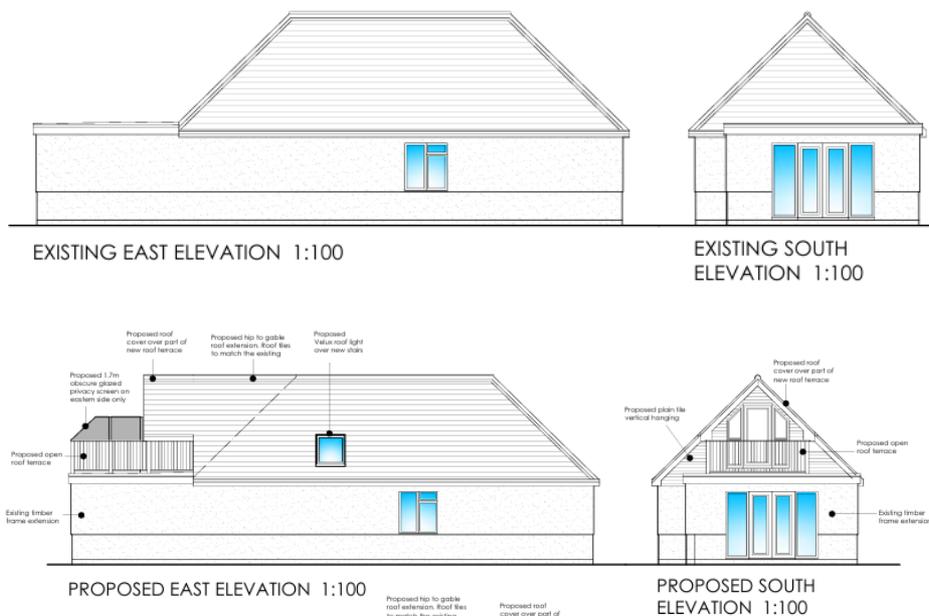


**Fig 4. Proposed Site Layout Plan (ref: AWDM/0970/23)**

**52 Brighton Road**

**Planning ref: AWDM/1649/22/:** Proposed loft conversion to include hip to gable roof extension to rear plus continuation of roof extension to form cover over part of proposed new terrace on roof of existing rear extension.

Application Permitted 16<sup>th</sup> November 2022.



**Fig 5. Existing and proposed east and south elevations (ref: AWDM/1649/22)**



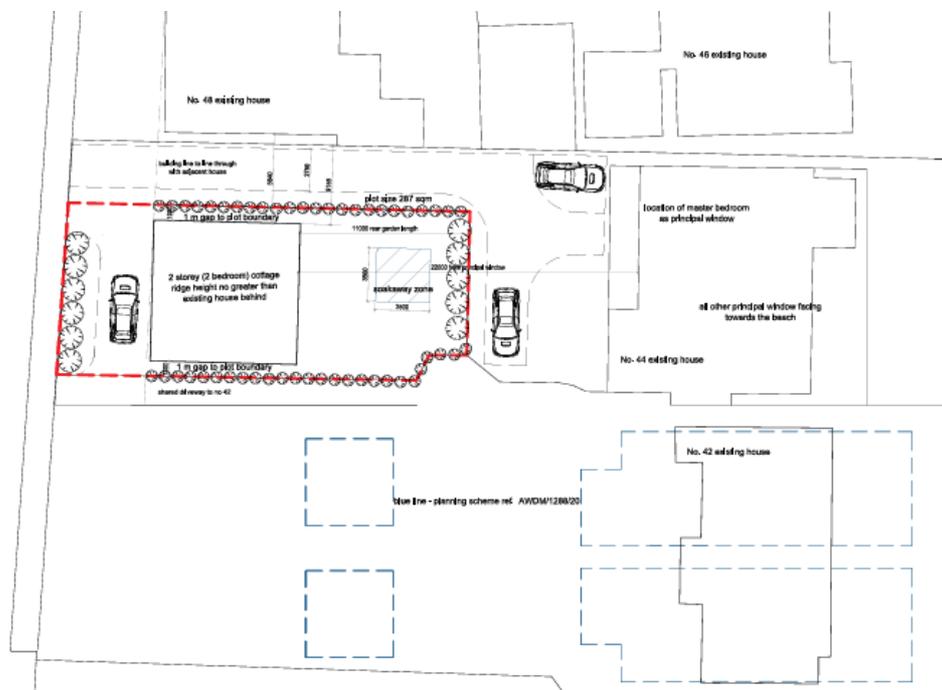
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44 Brighton Road, Lancing

**Planning ref: AWDM/0836/22/:** Reorientation and alteration of an approved 2-bedroom dwellings (amendment to planning permission reference AWDM/1394/21). Application Permitted 4<sup>th</sup> July 2022.

**Planning ref: AWDM/1941/21/:** First floor front extension onto balcony, two storey front porch; re-roofing of house in metal standing seam sheets; replacement of rear conservatory with pergola with louvred roof over terrace at first floor; new cladding to all elevations; change to rear garden levels to form terraced raised decking; new boundary walls to rear garden (Amended Resubmission of AWDM/0716/21). Application Permitted 15<sup>th</sup> December 2021.

**Planning ref: AWDM/1394/21/:** Erection of a 2-bedroom dwelling in front garden, together with associated landscaping and parking. Application Permitted 30<sup>th</sup> September 2021.



**Fig 6. Proposed Site Layout Plan (ref: AWDM/1394/21/)**



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56 Brighton Road, Lancing

**Planning ref: AWDM/1840/20/:** Two storey and single storey extension to rear and loft conversion including rear former and front roof lights.

Application Permitted 21<sup>st</sup> December 2020.

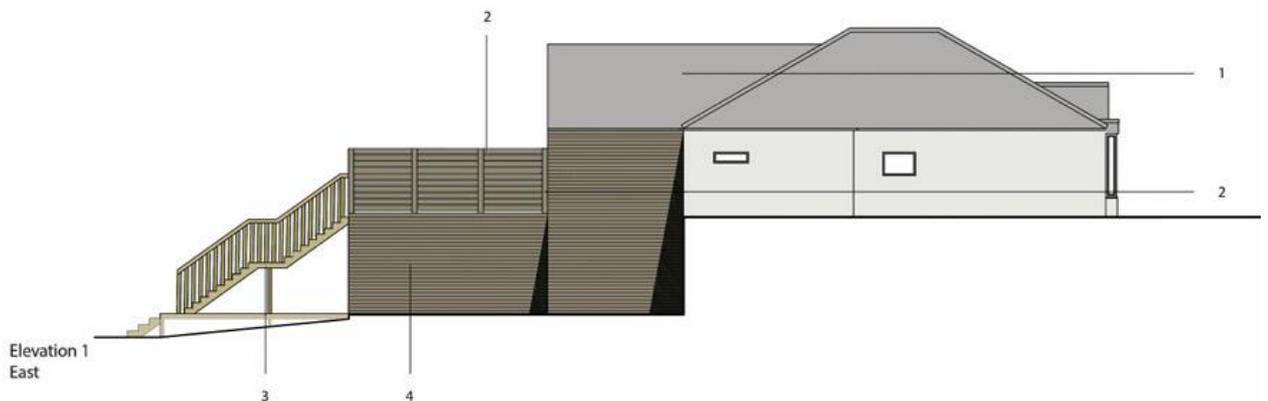


**Fig 7. Proposed Site Layout Plan (ref: AWDM/1840/20)**

60 Brighton Road, Lancing

**Planning ref: AWDM/0034/18/:** Two storey rear extension with gable roof over together with single storey rear extension to south elevation with roof terrace above and steps down to new raised platform (some will replace existing structures).

Application Permitted 18<sup>th</sup> May 2018.



**Fig 8. Proposed east elevation (ref: AWDM/0034/18)**



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58 Brighton Road, Lancing

**Planning ref: AWDM/0675/15/:** Single-storey extension, basement extension with balcony roof terrace and external access staircase and raised decking area to rear (south) elevation (revisions to AWDM/1779/14).

Application Permitted 26<sup>th</sup> June 2015.

66 Brighton Road, Lancing

**Planning ref: ADC/0146/10/:** Two-storey rear extension with external steps to balcony on east side.

Application Permitted 21<sup>st</sup> June 2010.



## 4. THE APPLICATION PROPOSALS

- 4.1 This Householder Application seeks permission for extension and alterations to the existing property. The works would include a widening of the existing garage, provision of a link between the garage and the existing house, rear extensions (with balcony) and creation of first floor accommodation in a raised roof void, together with internal alterations of the ground floor. Improvements are also proposed to the existing lower ground floor area, with changes proposed to the rear terrace above.
- 4.2 The existing structure at 50 Brighton Road is dated in terms of fabric and use. It is likely that it was originally constructed as holiday accommodation and appears to have elements of a prefabricated form of construction.



**Fig 9. Proposed Site Layout Plan**

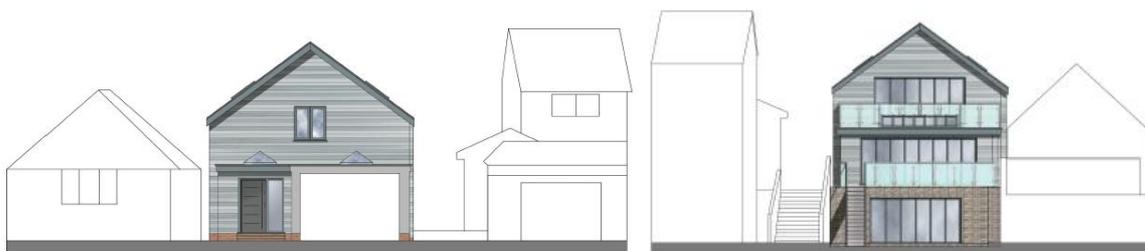


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- 4.3 The application proposals will see the external fabric enhanced both physically and thermally to current Building Regulations standards; modest extensions to the front and rear; together with the creation of new first floor accommodation.
- 4.4 The external walls are being increased in width to allow for structural enhancements to not only allow for the upper floor construction, but also to replace the existing panel system that is dated and likely to be beyond its original intended lifespan. The additional width will also allow for the improvement of the thermal capacity via the installation of insulation within an enhanced 'cavity' type construction.



**Fig 10. Existing Front and rear elevation**



**Fig 11. Proposed Front and rear elevation**

- 4.5 The proposal includes an improved garage width, with additional storage behind, that links to the existing front facade via a new hallway/entrance area. These areas sit under a flat roof that includes roof lights that bring natural daylight into the entrance.



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- 4.6 The eaves and ridge levels are shown as being raised, to allow for a first-floor level of accommodation.
- 4.7 The internal eaves level at first floor are kept to circa 1.5 metres along the length of the house, ensuring that whilst comfortable accommodation can be created, the height extension won't be over-bearing.
- 4.8 The proposal seeks a rear extension of the lower ground floor and ground floor. The rear extensions are 'stepped' back. They include terraces at ground and first floor level.
- 4.9 In terms of materials, it is proposed to clad the ground floor and first floor in timber as part of the improvements, which would be sympathetic in this location. The stone filled 'gabion' lower ground floor provides a visually solid base for the 'lighter' upper floor cladding. Our client would be happy for materials to be ensured via a suitably worded condition.





## 5. PLANNING POLICY CONTEXT

### (i) National Planning Policy Framework (NPPF)

5.1 The National Planning Policy Framework (NPPF) was originally published in 2012 and has been subject to a number of revisions subsequently, with the most recent version being published on 12<sup>th</sup> December 2024.

5.2 The guidance is of a general nature and not directly relevant to this householder application, however Section 12 refers to achieving well-designed and beautiful places. Paragraph 131 states *“the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development...”*.

5.3 Paragraph 135 sets out that *“decisions should ensure that developments:*  
*(a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*  
*(b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*  
*(c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*  
*(d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit...”*

### (ii) The Adur Local Plan 2017

5.4 The Adur Local Plan was adopted at a meeting of Adur Full Council on 14th December 2017. The Adur Local Plan identifies the site as being located within the defined built-up area boundary (refer to **fig 12**), where the principle of development



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is accepted subject to other policies in the plan. The following policies are of relevance.



Fig 12. Extract from Interactive Adur Local Plan 2017

- 5.5 **Policy 1** (Sustainable Development) states that *“when considering development proposals the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework”*.
- 5.6 **Policy 15** (Quality of the Built Environment and Public Realm) states that *“Development should be of a high architectural quality and respect and enhance the character of the site, and the prevailing character of the area, in terms of proportion, form, context, massing, siting, layout, density, height, size, scale, materials, detailed design features and landscaping. Development should:*



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- *Enhance the local environment by way of its appearance and character, with particular attention being paid to the architectural form, height, materials, density, scale, orientation, landscaping and layout of the development;*
- *Include a layout and design which take account of the potential users of the site;*
- *Incorporate the principles of securing safety and reducing crime through design in order to create a safe and secure environment;*
- *Make a positive contribution to the sense of place, local character and distinctiveness of an area; and not have an unacceptable impact on adjacent properties, particularly residential dwellings, including unacceptable loss of privacy, daylight/sunlight, outlook or open amenity space;*
- *Respect the existing natural features of the site, including land form, trees and biodiversity and contribute positively to biodiversity;*
- *Have safe access to the highway network, and not result in harm to highway safety;*
- *Have acceptable parking arrangements (in terms of amount and layout);*
- *Take into account the need for waste reduction and recycling, both during the construction phase and over the lifetime of the development;*
- *Incorporate public art in major developments\* where appropriate”.*

(iii) Supplementary Planning Guidance: Development Management Standard No.2 Extensions and Alterations to Dwellings.

5.7 This document notes that “*the purpose of this development Management standard is to provide planning information to anybody who is considering extending or altering their house or bungalow. It sets out the planning principles that are used by the council in assessing planning applications and how these are applied to different types of extension*”.



## 6. PLANNING ASSESSMENT

### Principle of Development

- 6.1 This Householder application is seeking planning permission for extensions and alterations to an existing dwelling, No. 50 Brighton Road, Lancing.
- 6.2 As identified above, the Local Plan proposal map identifies that the site lies within the defined built-up area boundary, where there is a presumption in favour of new development subject to other Development Plan policies. In addition, the site is not subject to any specific landscape or heritage designations.
- 6.3 Further, as detailed above, a clear planning precedent has been set within the immediate surrounding area for extensive extensions and alterations to neighbouring properties. We would encourage the case officer to confirm this point for themselves via a site visit of the area.

### Visual Amenity

- 6.4 The surrounding area is residential in character, comprising a mixture of detached and semi-detached one, two and three storey dwellings. A number of properties have dormers in the roof. Properties are varied in their scale, form, design and use of materials. Plots also vary in both their size and shape.
- 6.5 As part of the development, the eaves and ridge levels are shown as being raised, to allow for a first-floor level of accommodation. As can be seen from the existing and proposed street scene elevations (refer to **Fig 13** and **14**) the increase in height is modest and ensures that it sits comfortably in the street scene, allowing for a 'stepping-down' of built form from west to east.
- 6.6 It will be evident from a site visit that dwelling heights vary greatly within the surrounding area, with No. 54 and 56 Brighton Road to the east and No. 46 and 46a



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to the rear each comprising a pair two-storey, semi-detached properties. Dwellings opposite the site comprise a mixture of one, two and three storey dwellings, with No. 191 Brighton Road comprising a tall three-and-a-half storey dwelling with dormers in the roof slope.



**Fig 13. Existing Street Scene Elevation**



**Fig 14. Proposed Street Scene Elevation**

- 6.7 It is our opinion that the resultant development would not appear out of keeping in the street scene and would in fact sit comfortably within the existing eclectic house types. The proposal would represent a high-quality design, which would not appear as an incongruous feature, nor out of context with the surrounding area.



6.8 The rear extension of the lower ground floor and ground floor are again modest but do lead to the enhancement of the living space, so that it becomes a 'family' house as opposed to retaining the 'holiday' accommodation feel that it currently has. The rear extensions are 'stepped' back so that again, there is no overdominance of neighbouring properties. The inclusion of terraces at ground and first floor level reflect many of the properties in the area, as they bring the 'outside in' and allow for full enjoyment of the seafront location. Indeed, the neighbouring property, No. 52, has a large rear raised terrace that projects beyond that of No. 50 (as existing).



**Fig 15.** Existing side (east) elevation



**Fig 16.** Proposed side (east) elevation

6.9 From the coastal path and beach to the south, the proposed extensions and alterations would represent a high-quality development that would sympathetically relate to the existing dwelling and those that surround, being set back some distance from the seafront path and would not appear unduly overbearing from users of the path. When viewed in the wider context, the proposed works would not appear overly dominant.



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- 6.10 It is our opinion that the site is large enough to comfortably accommodate the level of development indicated. Although it is acknowledged that the proposed works would increase the overall height and scale of the existing building, this is not uncharacteristic of properties within the surrounding area, which vary greatly in their scale, form, height and design. Further, and as detailed above, many properties have been altered and extended in recent years, which has created a unique built form along Brighton Road.
- 6.11 It is our opinion that the resultant development would be of a high-quality design, which would not introduce an obtrusive or visually harmful form of development that would affect the character of the immediate area. Indeed, we contend that in visual terms the proposed architectural typology would represent a clear enhancement, which would complement the existing diverse street scene, which is varied in character. The proposal would be compliant with national guidance in the NPPF and at the local level, **Policy 15** of the Adur Local Plan and guidance contained within SPG 2: Extensions and alterations to dwellings.

Residential Amenity

- 6.12 In terms of residential amenity, the site is positioned adjacent to Brighton Road, backing on to the beach to the rear and with a public footpath to the beach running along the west side of the site. The closest neighbouring property is No. 52 Brighton Road to the east side; a hipped roof bungalow which is set forward from the application property. This property has been previously extended to its rear with additional outbuildings along the mutual boundary with No 50 and has a large rear raised terrace that projects beyond that of No. 50 (as existing).
- 6.13 The increased height of the house would create a larger building; however it is not considered that there would be any significant harm to residential amenity as a result.



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- 6.14 No. 52 has a west side facing ground floor window, with appears to serve a kitchen. This looks directly out onto our clients existing front courtyard and garage. It is not considered that the alterations and additions to the front of No. 50 will have a material impact, greater than the existing relationship.
- 6.15 To the rear, the ground floor additions do not notably increase the rearward projection from that existing at No. 50. It is noted that No.52 is set further forward and the siting of No. 50 is along the shared boundary projecting notably to the rear of No. 52. However, this relationship is existing and the extensions and alterations do not materially alter this situation. It is important to note that No. 52 has a significant single storey outbuilding (extension?) to its rear, within its terrace area which projects the majority of the depth of No. 50 close to the mutual boundary. Therefore, there are no rear facing windows to No. 52 that will be affected by the proposed extensions and alterations to No. 50.
- 6.16 In terms of windows, No. 50 has 1 ground floor east facing windows and 2 ground floor west facing windows. These are to be retained as indicated on the proposed floor plans and no additional ground floor side facing windows are proposed. At first floor, there are side facing roof lights proposed for light and ventilation. Due to their positioning within the roof slope, they will not afford views into neighbouring properties.
- 6.17 A modest rear balcony is proposed above the ground floor element; this would be rear (south) facing. If deemed necessary, this balcony could be appropriately screened to its west and east sides, albeit our instinct is that (given existing site circumstances) this feature will not afford harmful overlooking of neighbours and therefore we question if this would be required in this case.
- 6.18 Consequently, it is therefore our opinion that the proposal would not cause demonstrable harm to the residential amenities of any neighbouring property by



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way of overbearing effect, loss of privacy or loss of light; nor through the creation of undue noise and disturbance. The proposal would be compliant with guidance contained within the NPPF and **Policy 15** of the Adur Local Plan and guidance contained within SPG 2: Extensions and alterations to dwellings.

Access & Parking

- 6.19 The existing access and parking arrangement would remain unchanged as a result of the development proposals.





## 7. CONCLUSIONS

- 7.1 This householder application seeks permission for extensions and alterations to the existing property, No. 50 Brighton Road, as set out in detail above.
- 7.2 The Application site is located within the defined built up area boundary, where the principle of new development is generally accepted subject to other policies in the plan. To our knowledge, no other constraints or restrictions relate to the site.
- 7.3 It will be noted from a site visit that a clear planning precedent has been set within the immediately surrounding area for extensive extensions and alterations to neighbouring properties. This weighs in favour of the proposal.
- 7.4 The surrounding area is residential in character, comprising a mixture of detached and semi-detached one, two and three storey dwellings. A number of properties have dormers in the roof. Properties are varied in their scale, form, design and use of materials. Plots also vary in both their size and shape.
- 7.5 The resultant development would be of a high-quality design, which would not introduce an obtrusive or visually harmful form of development that would affect the character of the immediate area. Indeed, we contend that in visual terms the proposed architectural typology would represent a clear enhancement, which would complement the existing diverse street scene, which is varied in character. The proposal would be compliant with national guidance in the NPPF and at the local level, **Policy 15** of the Adur Local Plan and guidance contained within SPG 2: Extensions and alterations to dwellings.
- 7.6 In terms of residential amenity, the proposed development has been sensitively considered to ensure that the relationships with neighbouring dwellings will be entirely acceptable in planning terms. The proposal would not cause demonstrable harm to the residential amenities of any neighbouring property by way of overbearing effect, loss of privacy or loss of light; nor through the creation of undue



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noise and disturbance. The proposal would be compliant with guidance contained within the NPPF and **Policy 15** of the Adur Local Plan and guidance contained within SPG 2: Extensions and alterations to dwellings.

- 7.7 To conclude, it is our firm opinion that the proposed householder application will result in a high-quality development in this location, and that no harm would be resultant in respect of the established visual character of the area, or any neighbouring resident's living conditions.
- 7.8 Consequently, as the proposal accords with the aims and objectives of national, regional and local guidance, the application site is suitable for the proposed householder development and planning permission should therefore be granted.
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January 2026