

# 2.0 Local Context

## 2.1. Location

The site is situated in East Worthing, immediately south of East Worthing Station. Its proximity to established train, bus, and road networks makes it a highly sustainable location, particularly well-suited to commuters travelling to Brighton, Portsmouth, and London.

The development site is outlined in red, with the wider land ownership shown in blue.

The surrounding context is predominantly residential in character, with a mix of commercial and retail uses in close proximity. The area is well-served by local amenities, including schools and nurseries.

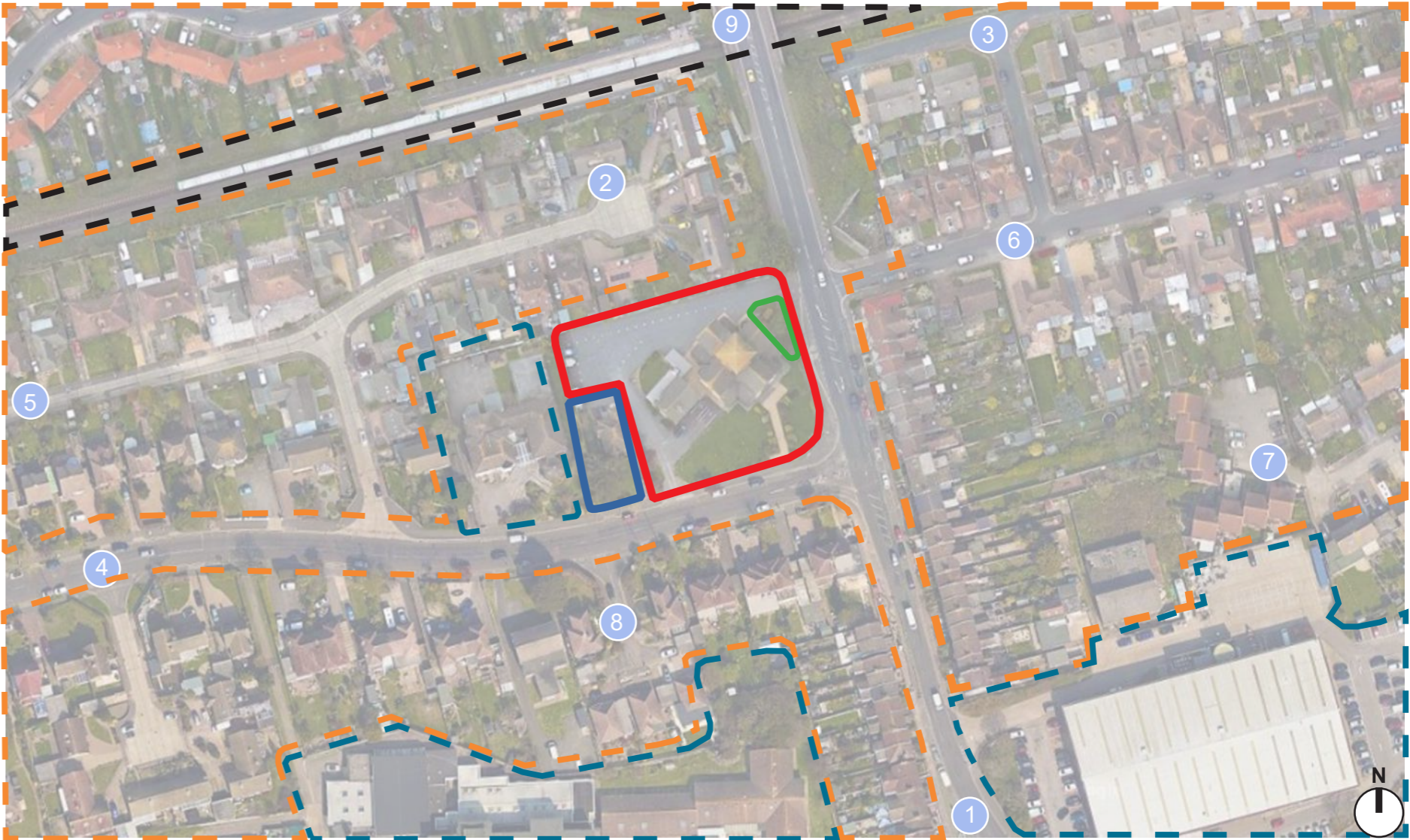
A number of green spaces are located nearby, and the seafront is within comfortable walking distance, enhancing the appeal and liveability of the area.



# 2.2. Site Context and Character

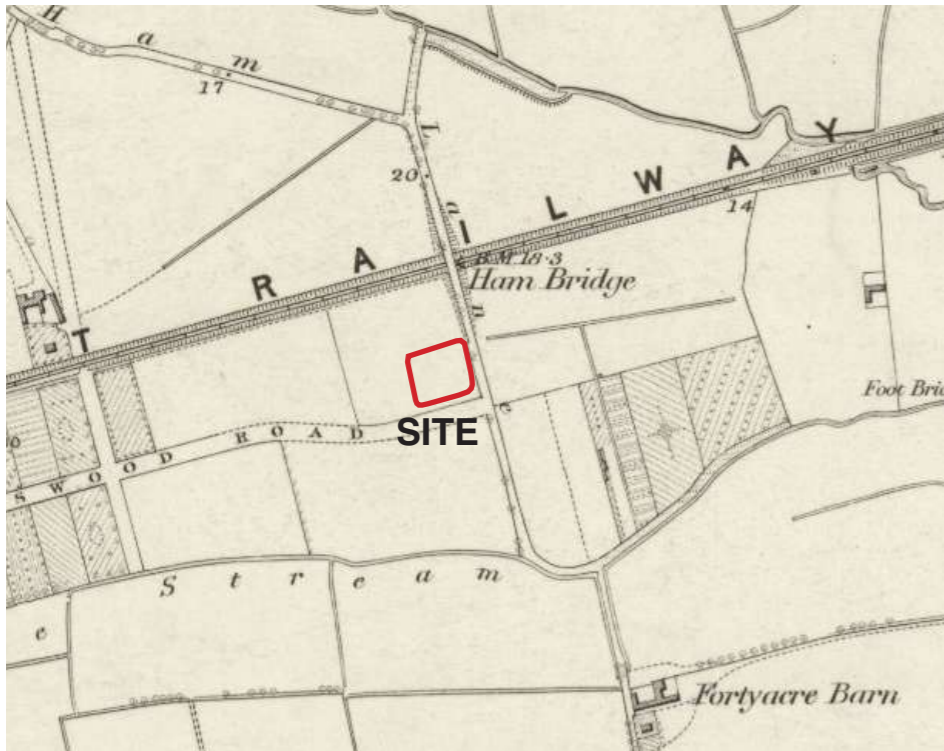
The map to the right, along with the photographs at the bottom of the page, illustrates the surrounding context, including local building styles, typologies, massing, and scale.

The area is predominantly residential in character, with commercial development located to the south-east of East Worthing. Notably, there is a large commercial unit, The Range, located within a two-minute walk of the site, providing convenient local amenity and reinforcing the mixed-use nature of the wider area.

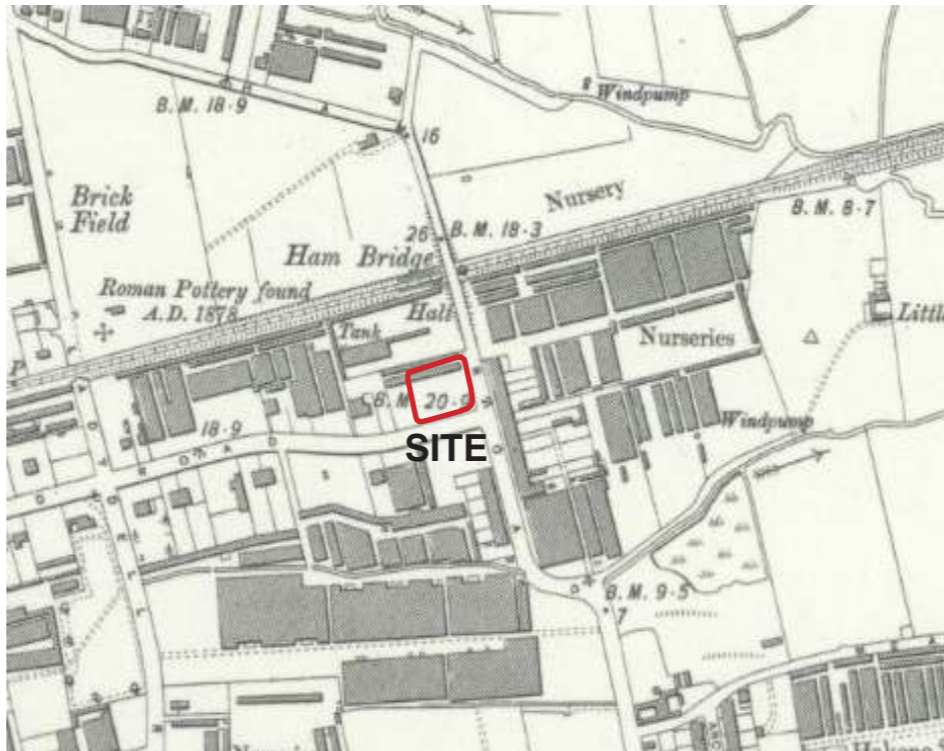


- Key:**
- Site application
  - - - Train Station
  - - - Residential area
  - - - Commercial area
  - Memorial Garden
  - Ownership boundary

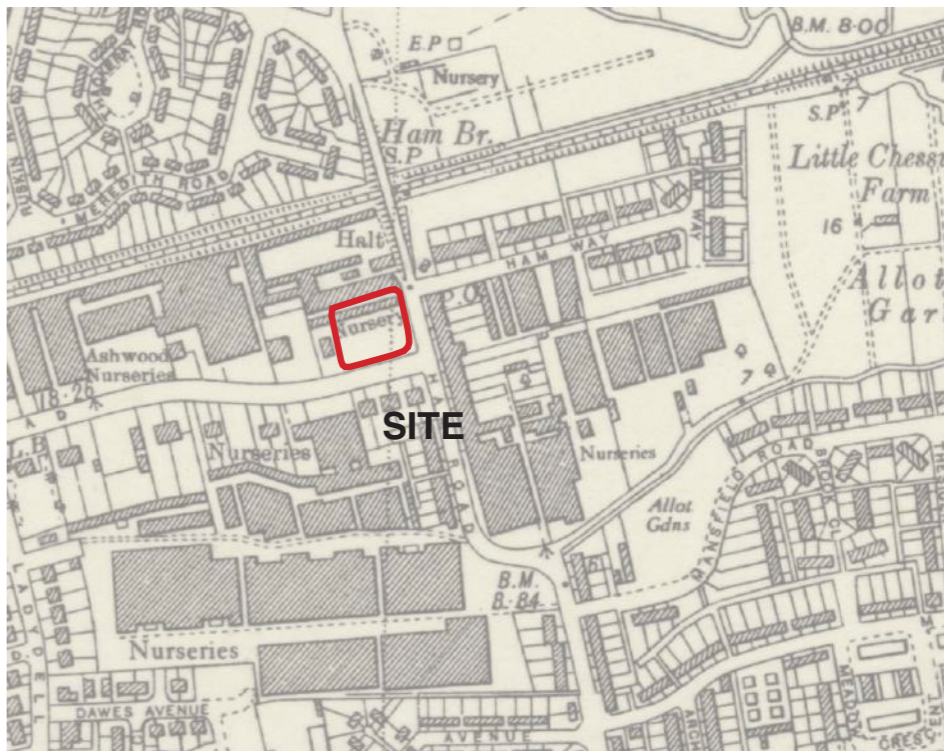
# 2.3. Site History - Historic Maps



1875 - The site and surrounding area comprise agricultural land



1909 - The site and surrounding areas have been developed into an area of nurseries for food growing. A small amount of housing has started to form in the area, as well as other industry, such as a brickworks.



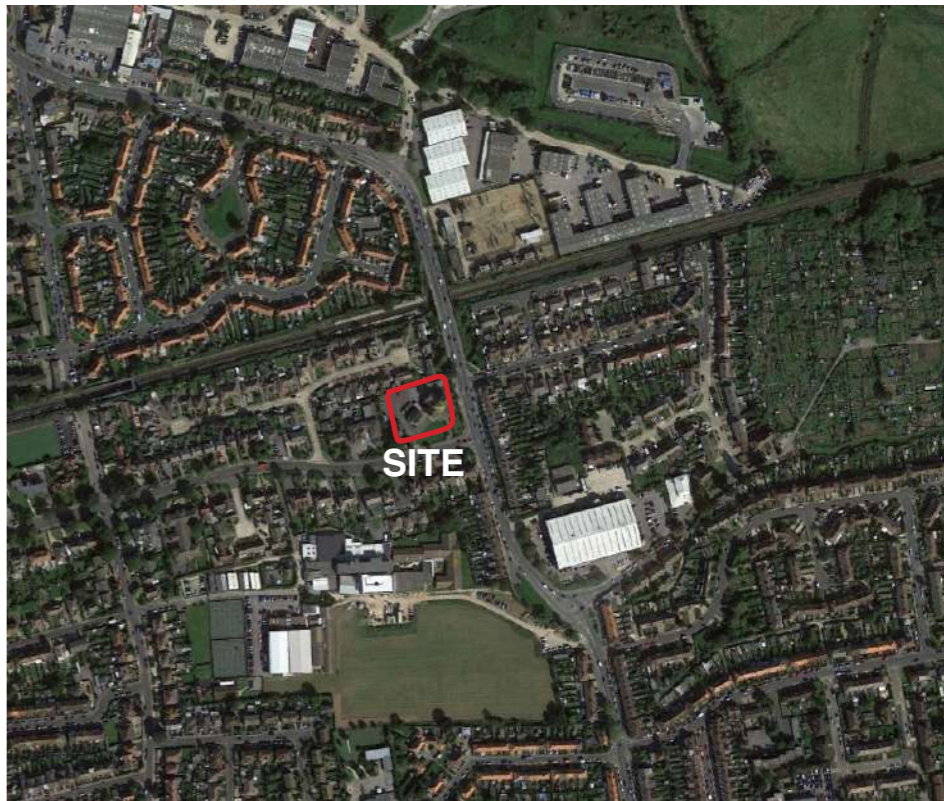
1950 - The site and immediate surroundings are still being used for food production



1969 - The nurseries have been removed from the site, allowing for the development of the area in to a residential neighbourhood. The church has been constructed. A School and play fields have also been introduced



2001 - The site and surrounding areas form a well developed residential neighbourhood. A trading / industrial estate has been built to the north.



2015 - The area has increased slightly in density and additional infrastructure, such as car parks has been introduced

# 2.4. Local Amenities

- Key
- Green Space
  - Retail
  - Schools / Colleges
- 1 - Davison Leisure Centre
  - 2 - Davison CE High School for Girls
  - 3 - The Range Superstore
  - 4 - East Worthing Community Centre
  - 5 - Lyndhurst Infant School
  - 6 - Tesco Express
  - 7 - Premier Convenience Store
  - 8 - Hambridge
  - 9 - Industrial / Trading Estate
  - 10 - Dolphins Day Nursery



Local Amenity Plan

# 2.5. Site Connectivity

The site benefits from excellent connectivity, located less than a two-minute walk from East Worthing Station, which offers regular services to Brighton in approximately 25 minutes and to London in under an hour and a half.

The site also enjoys good vehicular access, with convenient connections to Brighton Road and the A27, facilitating travel across the wider region.

Several bus stops are located nearby, providing frequent services to Brighton and Worthing town centre.



- Key
- Bus Stop
  - Primary Roads
  - Railway Line
  - Station

Connectivity Plan

# 2.6. Land Use

The surrounding land use is predominantly residential in character.

Directly opposite the site on Ham Road is a mixed-use building comprising a ground floor newsagents with residential accommodation above.

Adjacent to the site on Chesswood Road is an assisted living facility, further contributing to the area's varied residential offering and community-focused character.

St Charles Borromeo Church is closed for worship and to be sold by the Diocese

### Key

- Residential
- Assisted Living
- Commercial
- Ex. Religious



Land Use Plan

# 2.7. Building Heights

The surrounding built form comprises a variety of building heights, ranging from 1 to 2.5 storeys.

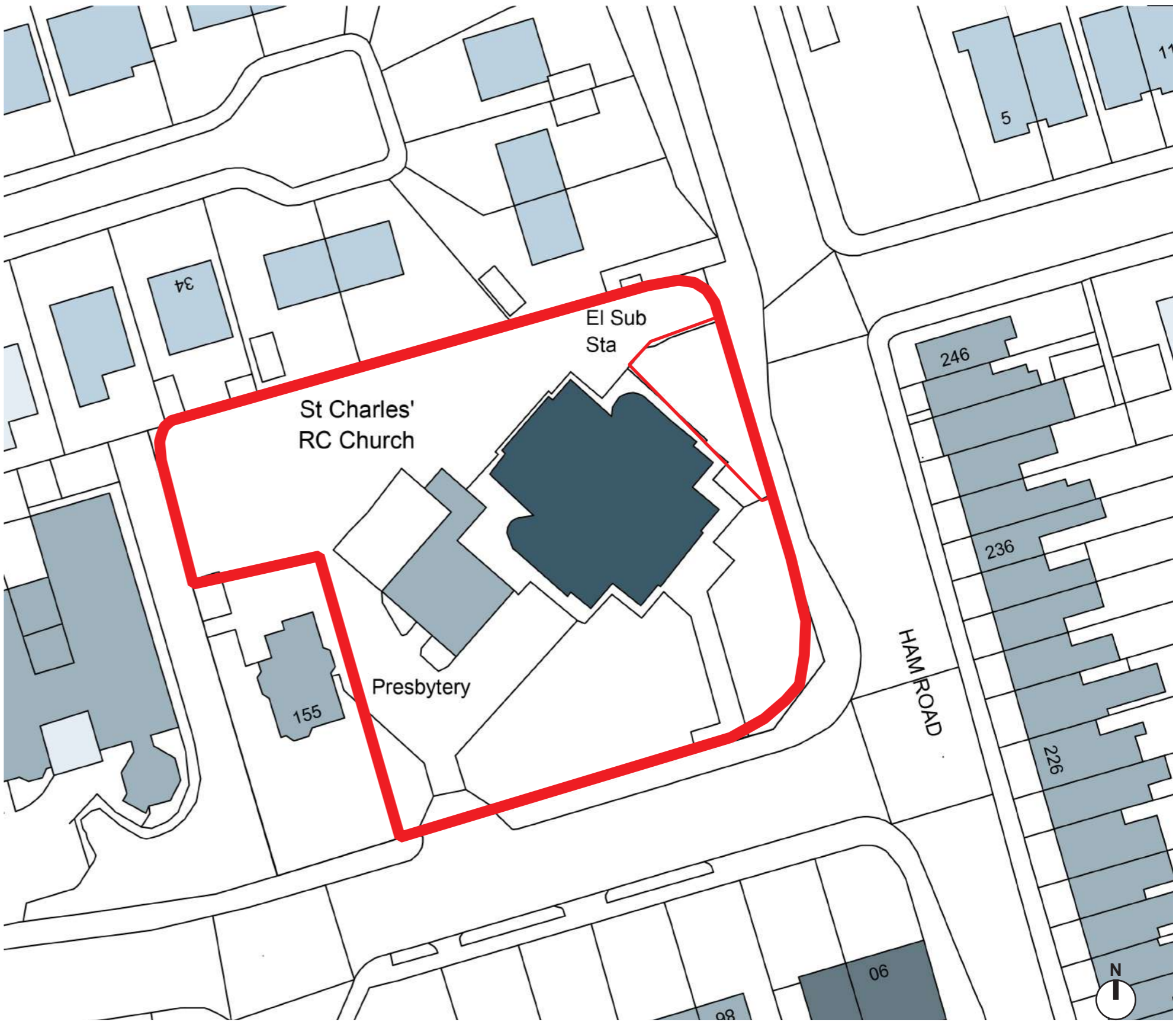
Along Ham Road, the terrace houses are uniformly two storeys in height, presenting a consistent streetscape. Opposite the site on Chesswood Road, the detached and semi-detached properties range between two and two-and-a-half storeys, contributing to a varied but coherent residential character.

To the north-west, the bungalows on Ashwood Close are single storey and 1.5 storeys through the addition of dormer windows.

This mix of building typologies and scales contributes to a diverse and established residential context around the site.

### Key

- 1 Storey
- 1.5 Storey
- 2 Storey
- 2.5 Storey
- 4 Storey



Building Heights Plan

# 2.8. Listed Buildings and Conservation Areas

The site is identified as a building of local interest within the Worthing Local Interest Study (2003), recognising its contribution to the character of the local area.

It is situated some distance from any designated heritage assets. The nearest listed buildings are located just over half a mile away, at the southern end of Ham Road. The majority of Worthing's listed buildings are concentrated in the town centre and are primarily Grade II listed.

The site does not fall within or near a conservation area, and its redevelopment is therefore unlikely to have any direct impact on designated heritage assets.



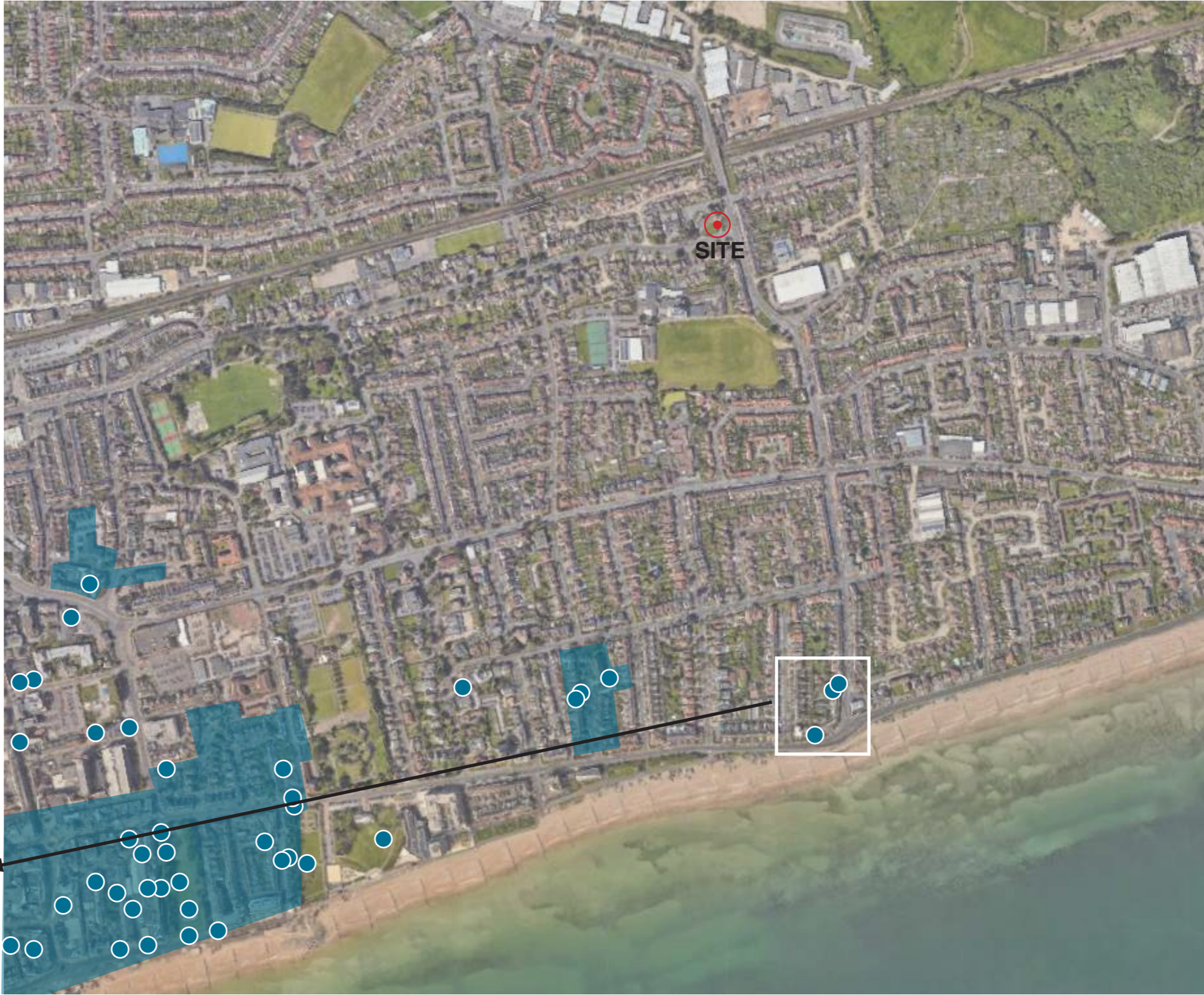
Old Mill Cottage and side walls to rear garden - Grade II



205-211 Brighton Road - Grade II Listed



Listed Building Key Plan



Key  
● Listed Building

Listed Buildings Plan

# 2.9. Tree Preservation Orders

A Monterey Cypress tree that sits at the south west corner of the site is under tree preservation order.

The tree is protected under order no. 6 of 2002.

- Key
- Existing trees
  - T1 trees



Tree Plan

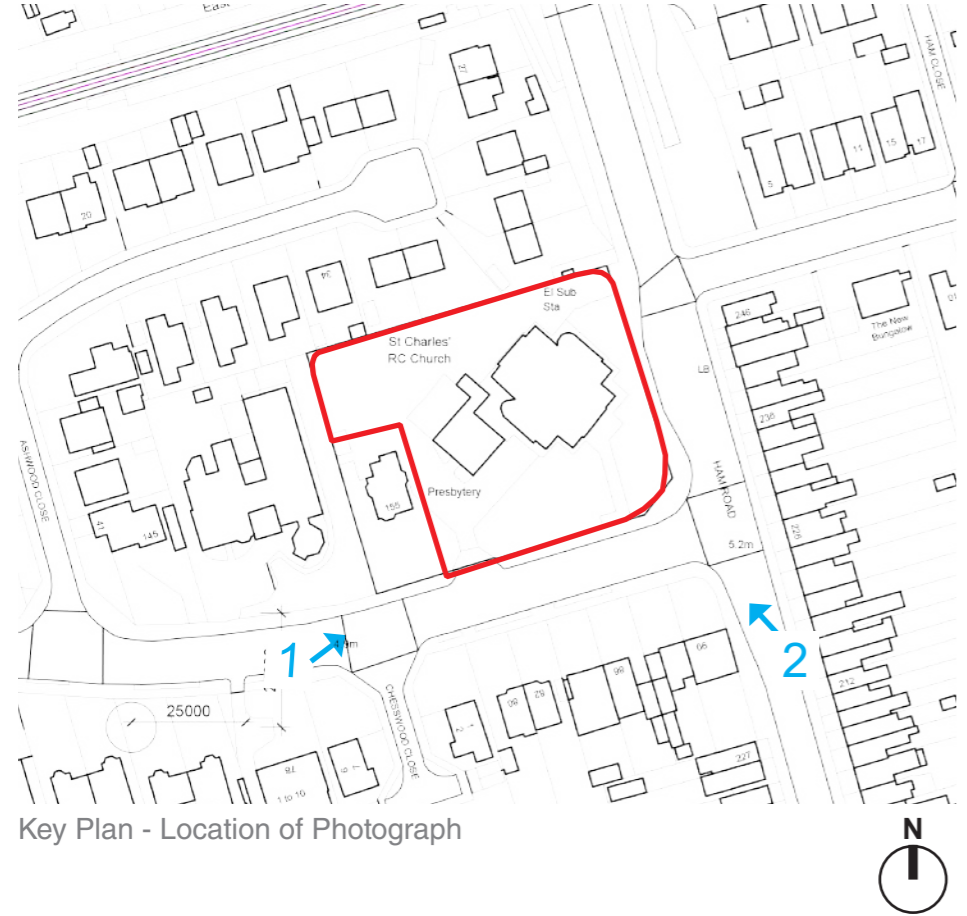
# 2.10. Site Photos



View from Chesswood Road looking North East towards the site



View from Ham Road looking North West towards the site



Key Plan - Location of Photograph

# 2.11. Surrounding Context



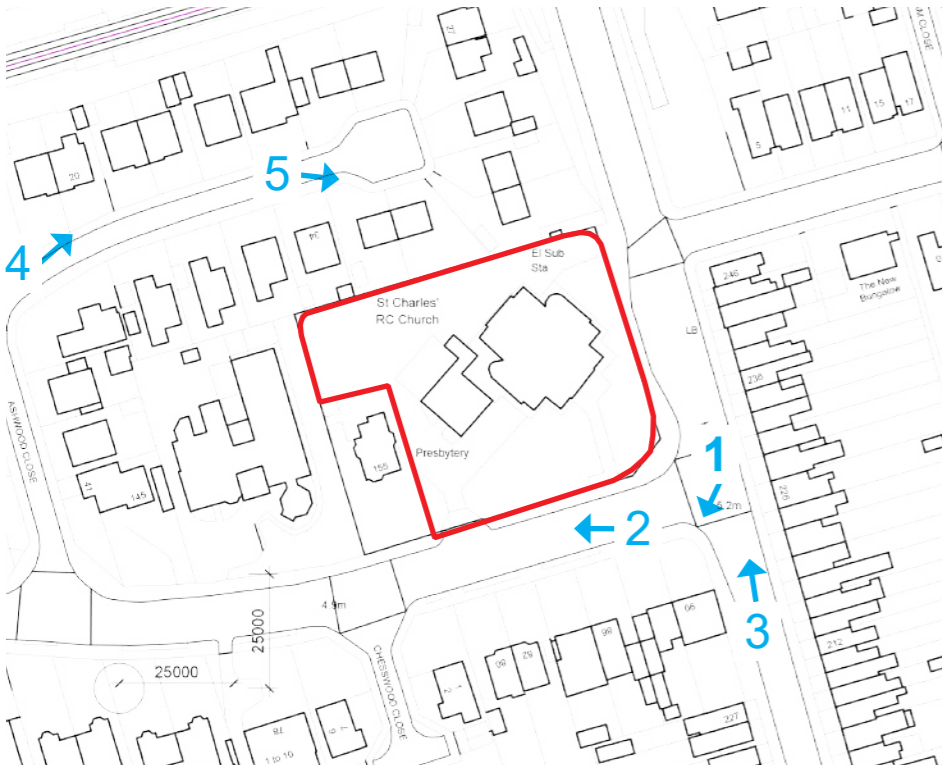
Looking west along the south side of Chesswood Road opposite the church



Looking west along the south side of Chesswood Road



Looking north along the east side of Ham Road



Key Plan - Location of Photograph



Looking east along the north side of Ashwood Close

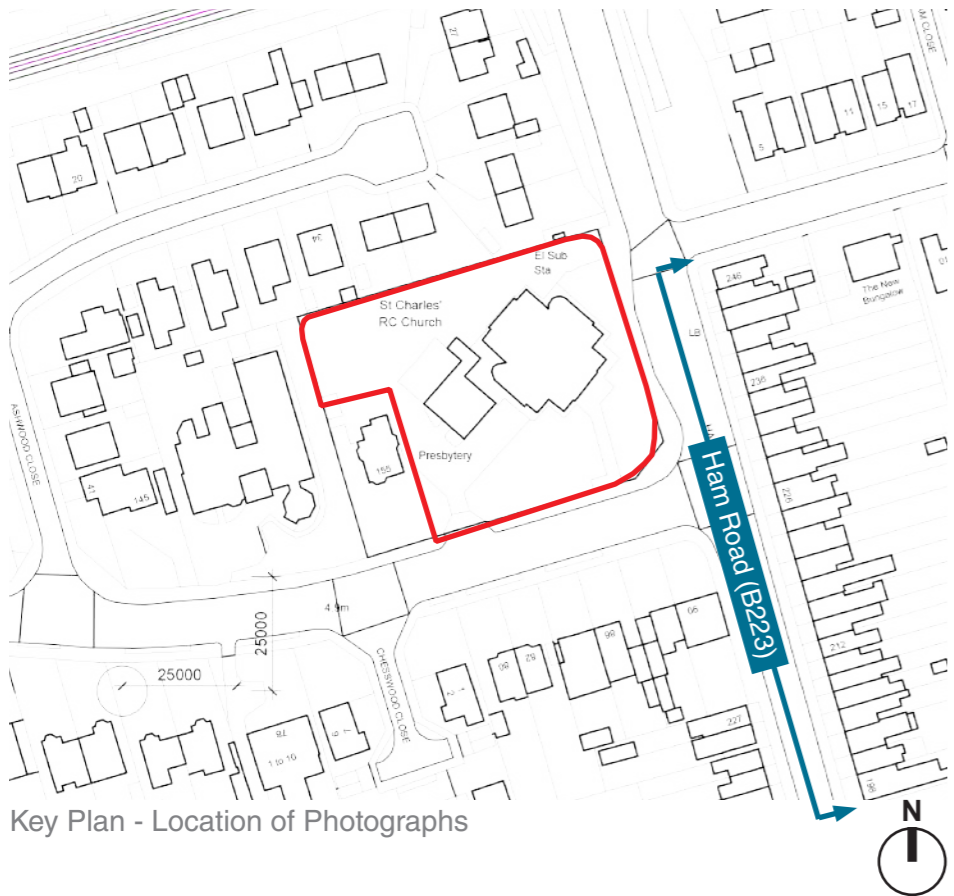


Looking east along the south side of Ashwood Close with St Charles Borromeo behind the house

# 2.12. Existing Forms and Typologies - Ham Road

East side of Ham Road

This section of Ham road consists of a single line of terraced houses. Some are finished in render and painted and some are constructed in natural stone.



Key Plan - Location of Photographs



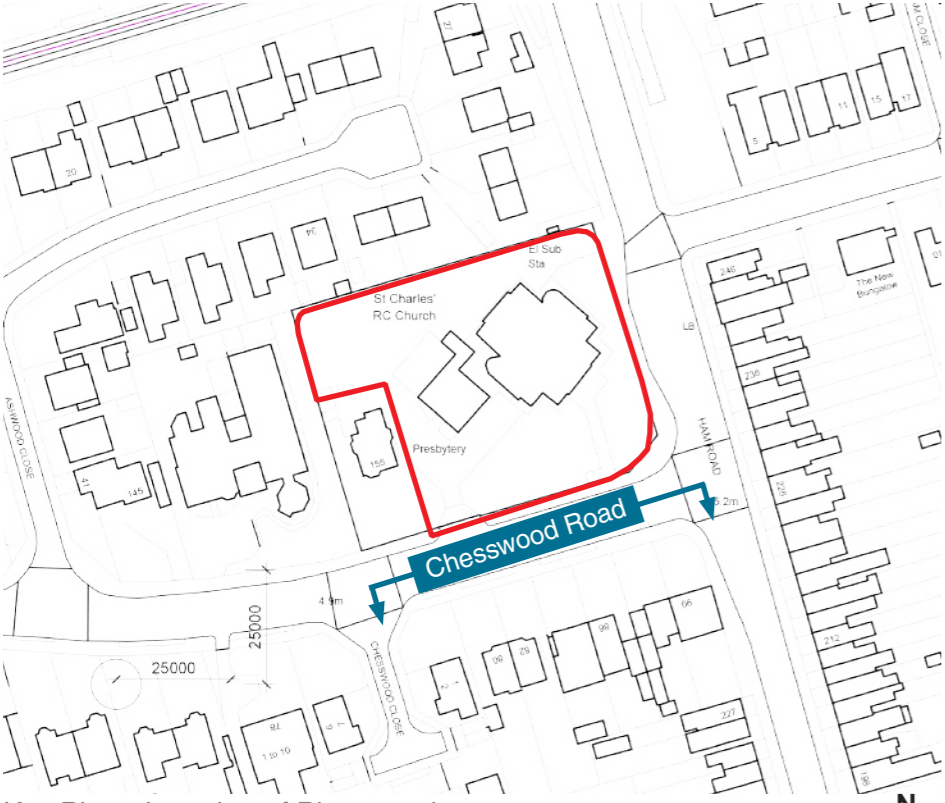
# 2.13. Existing Forms and Typologies - Chesswood Road

South side of Chesswood Road

This portion of Chesswood Road is made up of detached and semi detached houses with front gardens and driveways accessed off the road.



Chesswood Road



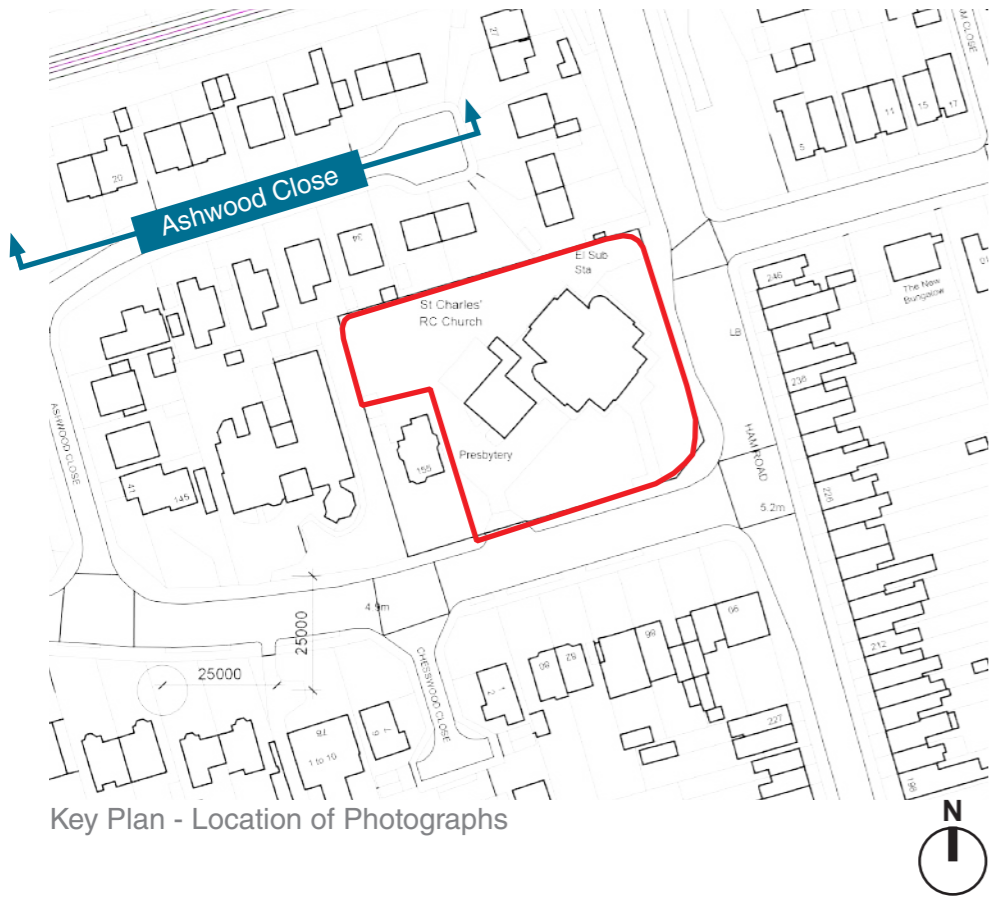
Key Plan - Location of Photographs



# 2.14. Existing Forms and Typologies - Ashwood Close

North side of Ashwood Close

Ashwood Close is made up of detached and semi detached bungalows, some of which have been converted with the addition of dormers.



# 2.15. Existing Material Context

The material palette of the surrounding buildings is varied, reflecting the diverse residential character of the area.

Terraced properties along Ham Road feature a mix of smooth painted render in bright colours and natural stone finishes, creating a lively and distinctive streetscape. The detached and semi-detached houses and bungalows in the wider context are predominantly constructed in various shades of brick, often complemented by sections of cladding in a range of finishes.

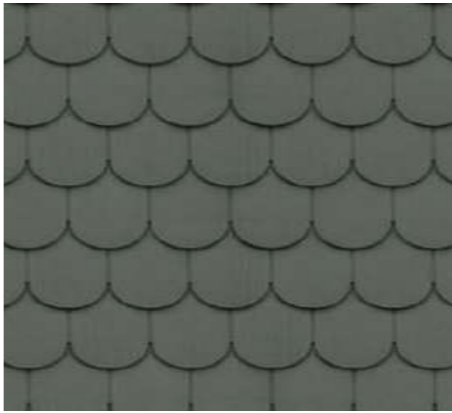
On the site itself, the existing buildings comprise reconstituted stone for the church and light buff brick for the presbytery, contributing to the architectural diversity of the immediate area.



Smooth painted render



Smooth white render



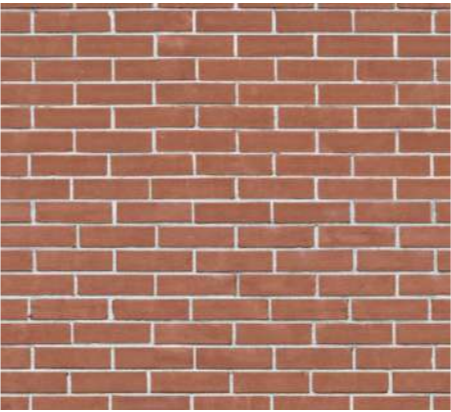
Scalloped cladding



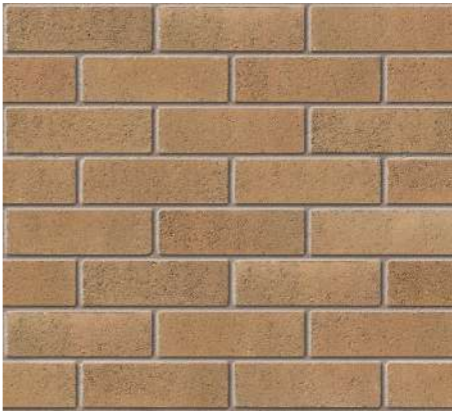
Anthracite lapped tile cladding



Red lapped tile cladding



Red brick



Buff brick



Natural stone



Materiality of existing church - reconstituted stone



Materiality of existing presbytery - light buff brick